

Multi-Family Design Guidelines
rev. 03-29-05

LAUGHLIN RANCH
A MASTER PLANNED GOLF COMMUNITY

Laughlin Ranch is a distinctive community defined by artfulness and beauty. The site, which has extraordinary views and beautiful landscape, is the perfect setting for the harmonious convergence of these ideals.

The guidelines reflect various architecture styles that will create a timeless community with historical relevance and appropriateness. It takes our Valued Homeowners to create such a community. Herein lies the vision of these guidelines.

The creators of Laughlin Ranch would like to extend our appreciation to the Valued Homeowners for their interest in helping carry out this vision. We look forward to working with you to bring your dream home to fruition and becoming an instrumental part of this community.

Sincerely,

The Laughlin Ranch Design Team

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LAUGHLIN RANCH

A MASTER PLANNED GOLF COMMUNITY

Section One:

Introduction and Design Philosophy

Community. It's a word that invokes feelings of being at home, neighbors, friends and a return to humanity. It's a feeling of being safe walking down the street, saying hello to local a store owner by name and meeting friends at the park. Laughlin Ranch is envisioned to create this sense of community through quality planning, design excellence and the natural surroundings. To the east, one can see beautiful sunrises creeping over the mountains. To the west, the twinkling lights of casinos make the nighttime sky just as spectacular. Deep canyons, rolling dunes and large, natural washes are found throughout the site and lend themselves to the creation of distinct neighborhoods and the allowance of a wide network of paths and trails. These neighborhoods are intended to incorporate a diversity of architectural styles, which will produce a timeless feel, and a definite sense of place; a feeling of being at home in your community. Laughlin Ranch is your new hometown, with activities for everyone. With over Sixty miles of paths and trails planned every resident can get anywhere they need to in the community including access to the Colorado River. Walk or ride your bike to the coffee shop on the corner. Stop in to the deli for a quick snack. Take a dip at one of the community pools after an enjoyable round of golf on a Championship Golf Course. It's all here for you and it's all within reach.

The Southwest is rich in history. From the Native Americans

that first inhabited these parts, to the mining towns that looked to find valuable ore, even the emergence of Don Laughlin's vision that can be seen today along the Colorado River. Today, Laughlin Ranch begins its quest to be a part of that history. Along with the fabulous timeline of this area, comes great architecture. The physical appearance of the indigenous ranch architecture of the Southwest was not so much a quest for style but a response to the climate, functional lifestyles, and utilization of available building materials and craftsman. People still look at these gems with awe and wonder as they have stood the test of time and the elements. Laughlin Ranch is no different. It is the intention of Laughlin Ranch to remember and respect why this architecture is so beautiful. Although a diversity of architectural styles are allowable, integrity and respect for the land and the highest quality construction is expected from every owner, architect and builder. From the Hacienda style to the Territorial style and even desert respective contemporary homes, a woven fabric of diversity will be created to help foster a sense of community that you, your neighbor and the whole community can take pride in. Because the terrain of Laughlin Ranch is varied, diversity in architecture is almost given. Some styles may work well on flat sites to create stunning estates. While other styles may lend themselves to beautiful hillside villas. Wherever you may choose to live in Laughlin Ranch, you will be surrounded by gorgeous homes like yours that fit together like puzzle pieces, creating an incredible picture when completed.

Design Guidelines are intended to establish and maintain

common goals for the entire Laughlin Ranch community, while taking into account your personal preferences and needs. All too often design guidelines become too strict and do not allow for personal expressions. In the end, sameness is created and the special feeling of place is lost. Although the Laughlin Ranch Design Review Board (LRDRB) will be strict with regards to quality and integrity, it will also be flexible with regards to creativity. These guidelines and the LRDRB decisions are not intended to be a "what not to do", but rather an execution of principles that will create an artful community. Ultimately, the LRDRB has the discretion to accept, reject and provide input on every home design brought in for review and ultimately approval.

Laughlin Ranch strives for the highest quality design in its community. So it is only appropriate that in its vision as an artful community it calls for the highest quality builders. Through collaboration and design development, builders will be proud to have their homes as a part of this wonderful community. With innovative thinking and a wonderful partnership with the Laughlin Ranch brand, home builders can be a part of the higher level of planning, design and community building. Parks, paths and trails, village commons and golf courses are all amenities that will compliment this high standard of design quality and place making. Laughlin Ranch expects nothing less than quality and design excellence. Multiple elevations, floorplans and architectural characteristics lend themselves to an interesting streetscape and enjoyable, artful community for all of the residents to enjoy. Come join us in the manifestation of this vision for artfulness, variety and quality. The possibilities are endless.



View looking toward Laughlin Ranch

Section Two: *Green Building*

Why Green Building?

The act of building has a significant effect on our regional and global environments. In the process of building, resources are consumed, natural habitats are altered and the ecological systems that support life are affected. This has been the case for thousands of years, but as the world's population and patterns of consumption have increased, the impacts have become more critical. There are growing initiatives to reduce the environmental impact of building. New materials are being introduced that use resources more efficiently and wisely. Energy efficiency and indoor air quality are playing a greater role in the construction of healthy and comfortable buildings, and efforts are underway to reduce water consumption and the inordinate amount of waste generated during construction. By designing for energy, water, and resource efficiency, buildings improve in performance with enhanced comfort and lower operating costs. With Green Building, we can satisfy all of our building improvement needs, conserve limited resources, and protect our natural environment for the long-term health of our planet and future generations.

Requirements For Green Building

All improvements in Laughlin Ranch will be developed using Green Building principles. To enforce this objective, all buildings will require certification for compliance. Laughlin Ranch has formed the Laughlin Ranch Sustainable Development Council (LRSDC), which has established the criteria for certification. The application for certification is required with the Design Review Submittal. LRDRB will provide required checklist and/or evaluation criteria at the pre-design conference or earlier if requested.

Protect And Enhance The Site

The Mohave desert is one of the most unique deserts in the world embodying a diverse ecosystem of flora and fauna.

- Protect ecologically sensitive land and indigenous plants.
- Minimize size of development footprint
- Integrate building with site topography and optimize indoor/outdoor transitions for outdoor living (i.e. courtyards, porches, canopies, etc.)
- Avoid chemical herbicides, pesticides, and other ground treatments with toxic or hazardous constituents.

Enhance Energy Efficiency

Decisions made during the design and construction of a building will affect environmental performance for decades to come. An integrated design approach can result in energy savings through the proper utilization of windows, lighting, mechanical systems and active/passive solar systems.

- Incorporate passive solar design strategies. Orient and zone building and interior spaces for seasonal benefits (reduce energy load and maximize comfort).
- Use a well insulated building envelope with internal thermal mass.
- Install high-performance low-e windows.
- Locate windows for natural light and cross ventilation; use external shading devices for unwanted heat gain.
- Seal and insulate ducts; locate within air conditioned spaces where possible.
- Select energy efficient heating/cooling equipment (min. SEER 12), lighting (fluorescents & halogens), and appliances.
- Consider active solar systems (i.e.- water heating and photovoltaic/solar electric).

Use Environmentally-responsible Materials

Most of the environmental impacts associated with building materials have occurred prior to their installation. Raw materials are extracted from the ground or harvested from forests; pollutants are emitted during manufacturing; and energy is consumed throughout production. Some materials, such as those containing ozone-depleting HCFCs and VOCs, continue emitting pollutants during use and /or have significant environmental impacts associated with their disposal. Resource-efficient materials are designed to have minimum impact on the health of our environment and ourselves.

- Select materials that are durable and appropriate for our desert climate (won't degrade in sun/dryness).
- Select products and materials of local manufactures to limit embodied energy and support local economies.
- Select materials with recyclable and recycled content (reclamation and reuse of existing materials).
- Select materials with low embodied energy (energy used in resource extraction, manufacturing & shipping).

- Avoid materials that unduly deplete limited natural resources, such as lumber from old-growth forests.
- Avoid materials made from toxic or hazardous constituents (benzene, arsenic, formaldehyde, etc.).
- Avoid materials that generate pollution during manufacturing or use.

Create A Safe Indoor Air Environment

Research indicates that air pollutant levels in our homes and offices can be four to five times higher than the air outside. Since people spend 80 to 90 percent of their time indoors, the quality of indoor air has become a major concern. Health effects from exposure to indoor air pollutants range from short-term health effects (sneezing, itchy eyes, headaches, dizziness), to more serious long-term effects such as respiratory disorders. A healthy indoor environment can be achieved through proper ventilation and selection of non-toxic materials.

- Avoid materials and finishes with high VOC (volatile organic compound) such as particle boards, some carpets, adhesives, and paints (use materials with less than 250 grams/liter VOC).
- Provide for ventilation in all occupied areas of the building.
- Maximize control of the indoor environment with features like operable windows, task lighting and zoned temperature controls.

Provide For Efficient Water Use

In the desert, the environment imposes a natural mandate on how we should build in order to manage water. The depletion of groundwater is an especially critical issue of concern in Arizona. The State Department of Water Resources has implemented water management strategies to address this regional problem. One way to conserve water is to incorporate water management strategies into building and site design.

- Use low-flow plumbing fixtures (i.e. dual flush toilets) and water efficient appliances (i.e. horizontal axis washing machines).

- Incorporate an efficient hot water delivery system (i.e. tankless, recirculating, centrally located of water heater).
- Provide or convert to desert responsible landscaping (xeriscape).
- Consider graywater usage, which takes the waste water from such locations as bathroom sinks, showers, bathtubs and laundry rooms, and uses it for landscape irrigation.
- Collect and/or direct rainwater for irrigation.

Reduce Generation Of Solid Waste

Construction debris constitutes a major portion of the material destined for landfills. Reduction of construction debris is one of the most frequently overlooked areas for resource conservation. According to the Center for Resourceful Building Technology, the building of a typical single-family home produces an average of four to six tons of waste per building site. Wood, drywall, metal, rubble and cardboard comprise the majority of recyclable construction and demolition wastes.

- Sort construction and demolition waste for recycling (job site bins for wood, metals, wallboard, etc.).
- Purchase building material in required dimensions to minimize waste.
- Reuse as many discarded materials as possible in the building process.
- Donate reusable materials to local non-profit building supply companies or other community groups where they can be used to build or improve housing stock.

Section Three

Branding

Branding

As Laughlin Ranch develops, it will continue to evolve as a unique community with its own identity. The identity will be represented by appropriate use of regional materials, vegetation and building forms.

This emerging character is established in four specific design elements. Landscape guidelines, stone or Laughlin Ranch community wall block, iron detailing and brick pavement installations.

As more projects are developed, the installation of these brand elements will be less of an ornamental enhancement and more of a complimentary design element, natural to the completion of the design.

Brand elements are not intended to dictate design, however the characteristics of the brand elements will maintain architecture complimentary to the Laughlin Ranch story.

As neighborhoods, parks, shops, businesses, streets and paths are experienced, there will be a subtle and pleasant familiarity from one to the next, leaving a favorable impression of contributing to a special place.

1. Improvements between street and closest wall of home

- a. Landscaping:
 - Street tree
 - Decomposed granite
 - Plants and shrubs and additional trees
- b. Driveway Paving:
 - Brick pavers
- c. Vertical Improvements:
 - Stone
 - Iron

2. Variation

No two homes in a given neighborhood may install the same combination of vertical improvements. Exceptions may be accepted by the LRDRB, however never within five homes on either side of the house or street.

Landscaping:

Desert sensitive and native landscaping is a primary influence in neighborhood character. An entire section of the Design Guidelines has been dedicated to landscaping.

In addition to establishing an “approved plant list” to guide this design element, the Laughlin Ranch brand is re-enforced base on the following prescribed characteristics:

- Decomposed granite groundcover is to be one of four regional varieties.
- Theme street trees, accent trees and theme shrubs have been established to provide shade and direct attention away from streets and structures. Four different varieties of street trees, accent trees and theme shrubs have been established.

Refer to “Landscape Design” section of the guidelines for applicable information.

Driveways, walks and Paths:

To promote pedestrian activity, de-emphasis vehicular presence and establish an informal environment, installation of brick pavers is required for a variety of applications. Applications endeavor to define walking routes within and through each development and to break up large masses of parking areas.

Refer to Parking, Driveway and Pathway headings in the “Site Design” section of these guidelines.

Vertical improvements:

Stone or Laughlin Ranch block and Ornamental Ironwork.

Every development is to contain a modest amount of stone (two varieties have been established) or Laughlin Ranch block, and a modest amount of ornamental ironwork. The application of these materials is not prescriptive due to the wide range of Development types and sizes contained within these guidelines. The intent is to establish a “Subtle Familiarity” throughout Laughlin Ranch.

Each Designer is to apply these design features at their own discretion and in a method that is complimentary to the unique design of each development. The LRDRB will approve designs based on achieving the desired outcome described above.

Examples of acceptable stone, block and ironwork installations include:

Stone or Laughlin Ranch block:

- Wainscott building wall veneer
- Individual wall masses
- Feature masses (chimneys, portals, columns, etc.)
- Site walls, fences, bollards, signage

Ornamental Ironwork:

- Entry gates
- Window detailing
- Light fixtures
- Fence walls
- Ornamentation (column detailing, door detailing, signage, etc)

Mock up installations of the approved stone and Laughlin Ranch block are available for review in the sample yard.



Figure 8



Section Four: *Site Design*

With its beautiful mountains as a backdrop, and its extraordinary views to the Colorado River and the casinos that provide beautiful nighttime sights, Laughlin Ranch is a site that is unique to this area. But that's not all. At the ground level, Variations in elevations of the terrain, large natural washes and deep canyons that provide almost Mystical experiences create the opportunities for homes and neighborhoods to be unique to every site. With all of these natural benefits, the architecture should make sure to consider topography, Solar Angles, wind direction, vegetation and views. When a designer takes all of this into consideration, a Homeowner can have comfortable exterior living spaces, lower heating and cooling costs and above all a beautiful home that will stand the test of time. Along with the natural wonders, there are several elements that are incorporated into the entire community that need to be considered. Laughlin Ranch has several parks, natural areas for open space and over Sixty miles of paths and trails. The same considerations and details must be given to these amenities, especially those homes that are adjacent to them. Because the experience of walking down a path should be equally enjoyable as sitting on a patio watching the sunset.

Multi-Family Development:

Providing a variety of housing types creates a more diverse environment within a community. Multi-family housing is one of the ways Laughlin Ranch accommodates a variety of ages, family-types, and socio-economic groups. Laughlin Ranch has taken steps to preserve the natural environment as much as possible. Therefore, it is encouraged to cluster residential structures on a portion of the land that is the least sensitive, preserving significant amount of the site as protected open space.

Building height restrictions are imposed to allow for better views and to create variety within the community.

- No building at any point may exceed a height of Thirty-Five feet.
- Buildings cannot exceed three stories.
- Building height is measured from natural or finish grade, whichever is lower.
- The building elevation must step down on the ends to ensure compatibility with lower surrounding land uses and consistency in design within multi-family developments.
- Building height is to be not more than Twenty feet at the ends of a multi-family building and may increase at a 2:5 relationship.
- Exterior building wall planes cannot exceed Twenty feet in height.



Setbacks

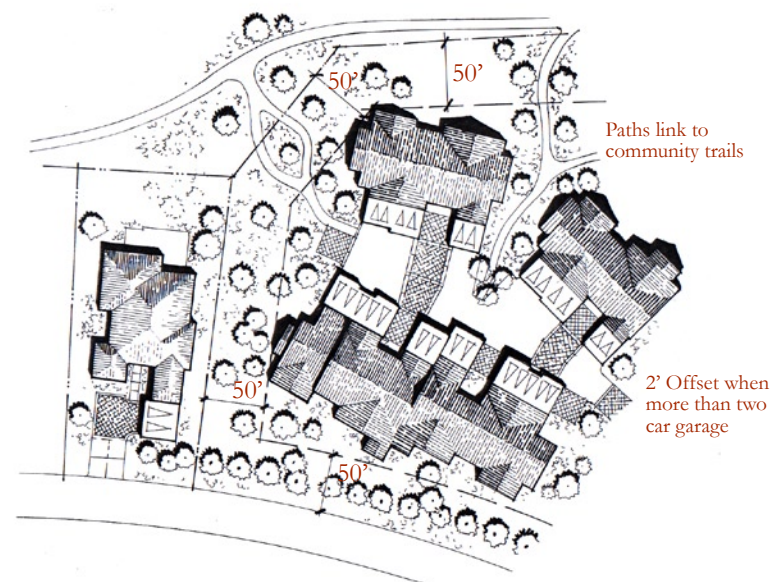
Minimum setbacks are as follows:

- *15' Front Yard Setback
- *15' Rear Yard Setback
- *5' Interior (non-street edge) Side Yard Setback
- *10' Exterior (street edge) Side Yard Setback

*In some cases additional setbacks are required to ensure compatibility with surrounding land uses. These setbacks are indicated below.

- 25' setback for multi-family buildings, two stories in height or less, if the building is sited as follows:
 1. Parallel to adjacent single-family residential property lines or
 2. At an angle of less than 20 degrees to adjacent single-family residential property lines.
- 50' setback for all multi-family buildings and non-residential structures that exceed two stories in height.
- 25' setback for all accessory structures including garages and recreational features when adjacent to single-family residential uses.
- 50' front yard setback along all minor arterial roads. Minor arterials in Laughlin Ranch are Laughlin Ranch Blvd. and Silver Creek Road. This setback will aid in creating natural desert vistas throughout the community.

Site Plan for a Three Story Building



The size and placement of a building, when done in a thoughtful manner, help elevate the overall character and feel of a community. A well sited and proportioned building will aid in creating aesthetically pleasing homes that will blend naturally into the environment. With this in mind, the **Maximum length** for any multi-family building is 180'. This is done to help minimize the impact of the building and ensure the mass of the building is appropriate within the context of the community.

Rows of **parallel building orientations** without varied setbacks are **prohibited**. No more than two buildings at the same setback is allowed. A five foot minimum offset is required for the next adjacent building. Incorporating a range of setbacks, building orientations, and open spaces will help lessen the mass of buildings, helping it blend into the site more naturally.

When buildings are located along interior (non-street edge) property lines, it is recommended that the building be oriented perpendicular to adjacent buildings. This helps reduce the mass of the building and prevents a direct line of sight into the neighboring development.

A buffer should be provided between multi-family buildings and lower density residential uses to help lessen the buildings impact. This buffer can include, but is not limited to fences, walls, or heavy landscaping. The buffer is subject to approval from the LRDRB. Reference the Landscape Section in this Design Guideline for landscaping and wall design requirements.

Outdoor storage is not allowed.

Open Space. Creating areas of quality open space that residents can enjoy provides a place for community recreation and interaction, improving the quality of life for residents. Open space should be integrated into multi-family projects in ways that foster a sense of place and provide individuals with a place to gather. Care should be taken to respect the land forms and existing conditions that were on a site before development occurs.

- Significant natural features on a site should be preserved.
- Clustering of buildings is encouraged to minimize their impact on a site.
- Buildings should be organized around common open space, natural features, or community amenities.
- Open spaces should be meaningful and thought out. They should not be strips of land that remain after buildings and parking have been sited.
- Open space can consist of natural undisturbed or revegetated land, formal courtyards, or areas where passive and active recreation occur.
- Open space should be integrated throughout the project and connected through a system of paths or trails. There should be paths and trails for circulation throughout the site as well as to provide a linkage to community wide paths and trails.

A minimum of 15% of a project's net site acreage should be dedicated to create common open space for use of its residents.

Areas not considered open space are as follows:

- Private yards, balconies, and patios dedicated for use by a specific unit
- Public right-of-way or private streets and drives
- Parking areas and driveways

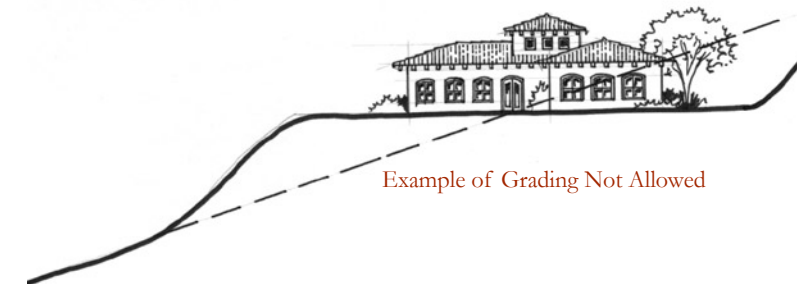
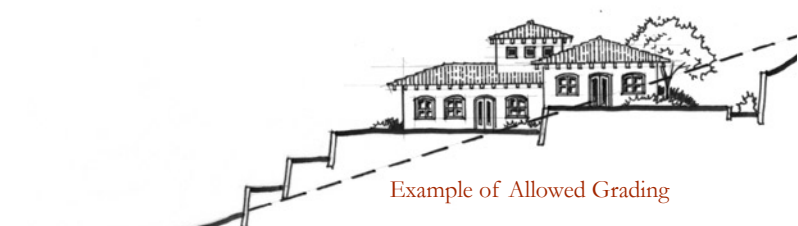
- Land areas between buildings less than 40' in width, unless this space is designed in a way that it provides a common use for the resident. It must be evident that this was designed in this manner, rather than being left over land after the buildings were sited. It is up to the discretion of the LRDRB to determine whether the land will be considered open space.
- Land within minimum setbacks. When additional setbacks are imposed, land within the additional setback is counted as open space provided they meet the description contained herein.
- Detention/Retention facilities, including drainage swales, except that detention or retention areas may be used to meet 100% of the required common open space amount provided such areas are accessible and usable, as determined by the LRDRB.

Amenities should be provided in each development to offer a variety of uses so that people of all ages can enjoy them. Multi-family developments are to have a minimum amenity requirement as follows:

- 1 amenity per 25 dwelling units
- 2 amenities per 25-100 dwelling units
- 3 amenities containing over 100 dwelling units

Allowable amenities:

- Resident clubhouse
- (2) Tot Lots with a minimum of 500 square feet per lot
- Basketball, volleyball, or other sports court
- (3) picnic areas with a minimum of 500 square feet per area. The area should include two picnic tables or other seating that yields similar numbers. At least one seating area is to be covered.
- Formal courtyard(s) totalling 1,000 square feet. May contain water features, seating areas, sculpture, or other artwork.
- Other amenities approved by the LRDRB

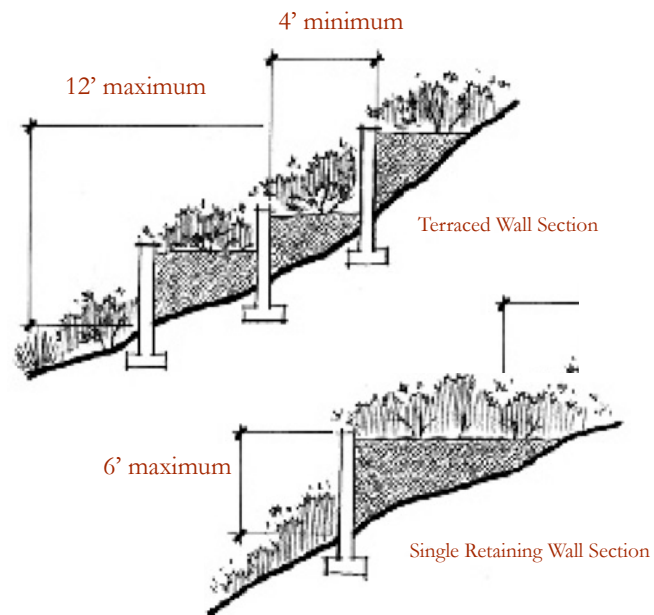


Grading is a sensitive issue within Laughlin Ranch. Because of the desire to maintain an undisturbed look and feel to the community, designers will need to be creative with their site grading either with retaining walls or terracing to minimize grading.

- On less sloped sites (10% and under), efforts by the designer should be made to have any grading appear as natural as possible.
- On more sloped sites (over 10%), architectural styles that lend themselves to more narrow compositions should be utilized. This will help with minimizing grading and/or terraced retaining walls.
- Rooflines should follow grade transitions to help break up large masses and avoid exceeding height limit restrictions.
- Avoid any drastic grade changes greater than 4:1.
- Excessive excavation or fill will not be permitted on any site.

Drainage ways that occur within a lot should be returned to a natural looking condition to preserve an undisturbed look and feel to the community. Also, the developer shall not introduce any new flow to the adjacent properties.

- All drainage ways should maintain historical flow where possible. In the event of a disturbance, the flow must exit the site from its historical location.
- The use of river rock will not be allowed for drainage ways off the site or for non-functional, aesthetic drainages.



Site walls/Fences are vital to the overall look and feel of a community. They help set the tone and character for every home that is built in the project. At Laughlin Ranch, site walls and view fences have been designed and built to minimize any visual impact upon the community. The use of view fences are also utilized to break up long sections of walls as well as provide lot owners with views out to special areas of the property.

- All site walls and fences must be approved by the LRDRB and use approved materials and colors.
- Maintain consistent top of wall elevations for multiple retaining walls.
- Walls shall not step down, but rather be designed to blend in with the natural topography of the site.
- All retaining walls and view fences must be designed similar to the architectural style of the building with similar color and materials.
- Retaining walls shall not exceed Six Feet. However, walls that are higher (up to Eight Feet) may be approved by the LRDRB if the disturbance is less than terracing of the walls. Terraced retaining walls cannot exceed Twelve Feet above natural grade.
- Where multiple retaining walls occur, each terrace must be separated by a horizontal planting area equal to or greater than the height of retaining wall and not less than four feet, unless otherwise approved.
- Fences and walls, excluding any required retaining wall, shall not exceed six feet (6') in height, except that in street setback areas (being both front and side in the case of corner lots) fences and walls shall not exceed thirty six inches (36") in height. Within each development, fences and walls visible from the street or neighboring properties must be similar in design, block size and color to the Laughlin Ranch community walling system. Wire or chain link, topped with barbed wire are prohibited. No owner shall permit removal, alteration or painting of any declarant, developer, or builder installed fences or walls without prior approval of the Board.
- Fences other than property division walls may be of wood, metal, aluminum, wrought iron, or steel.
- Finishes must continue down to finished grade.
- Retaining walls should be minimized in the front yard to create seamless landscaping design to adjacent property.
- Retaining or accent walls that are visible from the street should be designed to match the character, color and texture of the Laughlin Ranch Community Wall (Page 68).
- Screen walls should be consistent in design with the Laughlin Ranch community wall. (Page 68) Screen walls are those walls that are placed along the property line to divide two or more properties.
- Finished dimension of all site walls shall not be less than 8" and shall have finished tops.
- Dully Fence Walls are not allowed.

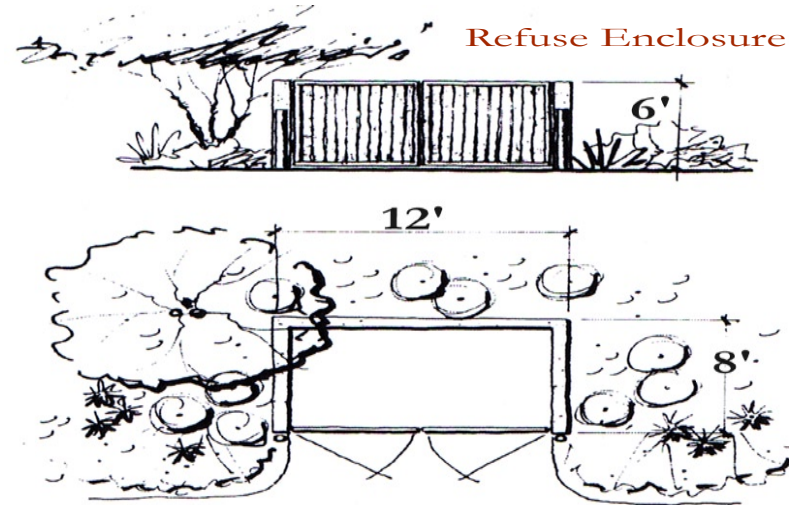
Noise Abatement. All exterior mechanical including HVAC and pool equipment should be concealed not only from view, but in a manner to screen sound generated by equipment.

Mechanical Equipment is a necessary part of every project especially when pools and spas are incorporated. It is the intention of Laughlin Ranch to minimize the visual and audible impact these necessities have on the community. Therefore, great care should be given as to placement and screening from all properties.

- If a wall is used to screen the mechanical equipment, the wall should extend 12” above the height of the tallest equipment. This wall should also be of similar style, materials and color as the residence and when possible should be made to appear as an extension of the residence.
- Wherever possible, in addition to walls, the use of trees, as approved by the LRDRB, should be used to screen the mechanical equipment.
- No roof top mechanical equipment will be allowed.
- Electrical meters, satellite dishes, television and radio antennas should be screened from the street, golf course, open space and adjacent properties. Contact the local utility companies for access requirements.
- Any rooftop projections such as vents, gutters, etc.. shall be designed to compliment the architecture of the building.

Trash Receptacles, like mechanical equipment is a necessary part of living. Therefore, if trash and recycling receptacles are used, they should be hidden from the street view, except on days of trash pick-up.

Refuse Enclosures shall be screened with 6’ high solid wall and fully screened gates complimentary to building design and materials.



Water Features can enhance the value of any development, aesthetic or otherwise, especially in a warm climate such as what we have here in the southwest. These elements should be designed to match the architectural style of the residence and have a level of appropriateness to the site and residence.

- Water features should be integrated into the overall design of the development rather than isolated.
- Materials, colors and design should compliment and reflect the architectural style.
- Water features should be designed as artistic features.

Play Equipment and sports courts will be approved on a case by case basis but it must meet particular requirements.

- Athletic courts are allowed as a recreational amenity for residents in a multi-family development if approved by the LRDRB.
- Like any hardscape surface, sport courts should be designed to minimize glare and should be colored to blend into the desert whenever possible.
- Swing sets and play structures subject to approval.

Solar A north/south orientation for each development is encouraged - with limited or shaded west facing windows as an integral part of the design.

Address identification should be visible from the street and should be designed in such a way that it appears to be of the same community themes. See below for font style and material. Painted numbers on curbs will not be permitted.



Approved Address Numbers
Available at "Restoration Hardware"
Item # "Mission Style" standard 5-inch lettering

Mail Delivery is distributed to a central mailbox(es) within the development. Mailbox design should be consistent to building design in regard to color, material, and architectural style. No individual mailboxes or newspaper receptacles are permitted. Mailboxes are subject to approval by the LRDRB.

Garages should be designed in such a way as to minimize the visual impact from the street. The garage can be arranged in a variety of manners to alter street scenes and improve the look and feel of the neighborhood. Parking for residents living in a multi-family development must be contained in an attached garage.

- No detached garages are allowed unless approved by the LRDRB.
- It is strongly encouraged to locate garages on the side of a building, not facing the street, to eliminate the visual effect caused by a row of garages along the streetscape.
- When applicable to the architectural style, large overhangs and columns should be used to provide shades and shadows to soften the elevation, essentially minimizing the visual impact of the garage doors.
- Each two-car garage width will require a Two Foot change in the elevation from adjacent garage doors.
- The garage cannot be the dominant architectural mass visible from the street.
- Garage doors should be setback 18” from the adjacent wall surfaces when located in the front of a building.
- Side entry or garage entries that are not parallel to the street orientation is encouraged.
- Garages shall be designed and used as automobile storage and not be converted into living space without the prior approval of the LRDRB and then only as a feature of the original construction of the house.
- Minimum width of garage door shall be sixteen feet (16’) for a 2 car garage door and nine feet (9’) for a single door unless otherwise approved by the LRDRB.
- Maximum height of garage doors is 8’0”.

Surface Parking. The intent of surface parking is to provide convenient access to residential units for the guests of residents in multi-family developments.

- No carports are allowed unless approved by the LRDRB due to their complimentary design enhancing the appearance of the development.

- To the extent possible parking should be internalized within building groups and oriented away from street frontage. Placing surface parking to prevent it from having dominant visual effect from the street is encouraged.
- Surface parking is allowed in the front yard when not located off a public road.
- Surface parking should be screened from public streets through landscaping or screen walls (max. 30” high). Refer to the Landscape Design section within these design guidelines for appropriate landscaping techniques and plants allowed.
- No more than five contiguous surface parking stalls are allowed. Additional spaces require a minimum thirty foot break.
- Parking stalls that are adjacent to a developments amenity and are intended to be used as access to that amenity are allowed to have no more than ten contiguous surface parking stalls before a minimum five foot landscaped area is required.
- Parking surface is subject to approval by the Architectural Review Committee. Parking stalls, circulation routes, and/or parking areas should integrate brick, stone, colored exposed aggregate, stamped colored concrete, natural stone, or other patterned and texture methods. Parking areas containing only asphalt are not allowed.

Driveways

- Entry drives shall be made of brick, stone, integrally colored concrete exposed aggregate concrete or integrally colored stamped concrete. Standard untextured, uncolored concrete is not permitted.
- Drive lanes may be asphalt or concrete in addition to any of the paved surfaces allowed at parking areas.
- Locate entry paving to align with community path and trail crossings when they occur.
- A Minimum of two conduits shall be buried under each driveway at street access, extending 12 inches from the driveway on both sides and positioned approximately 10 feet back from the curb. The conduit shall be schedule 40 PVC, at least 2.0 inches in diameter.

Swimming Pools and Spas

- Swimming pools and spas conform to governing Regulatory Agency requirements.
- Pool decks shall be no closer than 3 feet from property walls with landscape infill.
- No above-ground pools shall be erected, constructed or installed on any development. All pools and/or spas must be fenced in accordance with State, County and City Ordinances.
- Diving boards, or other vertical accessories must be screened from adjacent property and golf course views.
- No draining of pools onto adjacent property, washes, golf course, or open space.
- All pool equipment is to be concealed from view from streets, golf course and/or adjoining properties. Pool equipment screening should also mitigate noise.

Signage Design Criteria.

Signage should reinforce the specific character and theme of a development. Sign background and individual letters should compliment the development building design and materials.

Lighting should be the minimum amount necessary to provide adequate illumination for readability based on the location and user requirements.

Monument Signage

- A freestanding monuments utilizing wood of different finishes and types, adobe block, stone, traditional brick or plaster.
- Landscape/perimeter walls with identification in a low profile format.

- Maximum individual sign area: 50 sq. ft., including monumentation
- Lettering may take the form of cast in place graphics, individual dimensional letters and logos, sand blasted wood or stone and painted features shall be individual letters/symbols attached to the monument face.



Directional Signage within a development is allowed.

- Maximum sign area: 3 sq. ft.
- Sign height cannot be greater than 30” from natural or finish grade, whichever is higher.

Signs are subject to approval by the LRDRB. Additional signs may be allowed and will be reviewed on a case by case basis by the LRDRB.

Golf Course Impact

- Special consideration shall be given developments that adjoin the golf course.
- No structure or landscaping shall be permitted which

would in any way physically or visually obstruct play. Where the rear of the lot is contiguous to the golf course, a landscape plan shall be required as a submittal to the LRDRB for review and approval.

- No visual or audio features which would In the opinion of the golf course operators create distraction is permitted.
- Residential use contiguous to the golf course necessitates some potential hazards and nuisances. Residential design should consider these hazards (such as frequent errant golf balls) and nuisances (such as golf course maintenance equipment or tournament activity).
- No enhanced protection such as nets, high walls, or landscaping of excessive heights is permitted.
- Features which in the opinion of the LRDRB may appear unsightly or unattractive when viewed from the golf course may be prohibited. Specifically, storage sheds, and storage areas which might otherwise be permitted, but unacceptable when viewed from the golf course, may not be permitted.
- Access to the golf course is controlled. Direct access from a development is prohibited.

Patios and Gazebos

- For the purpose of these standards, eaves, steps, open porches, and covered patios shall not be considered as a part of the building.
- Covered patios shall be architecturally integrated with the design of the building, with covers supported by substantial wood or masonry columns finish to match the building. Roofing material should be the same as the building.
- Gazebos shall be located at least fifteen feet (15’) from perimeter walls.

Awnings and Canopies

- Awnings are encouraged and should have a minimum 5-year guarantee. They should be a complementary color to the exterior.
- Discoloration or disrepair will necessitate prompt

replacement or removal.

- All colors and patterns shall be approved by the LRDRB.

Ornamentation

- Driftwood, wagons, skulls, sculpture, ceramic figures, etc.... are prohibited. Any proposed ornamentation is subject to approval by the LRDRB.

Building Elements

- All mechanical equipment antennas, satellite dishes, cable equipment shall be screened from view.
- Columns shall not be less than 12” square or round.
- Column bases should be integral to exterior character.
- Archways and piers must be a minimum of 12” thick.
- Bay windows are to be habitable space and continued down to ground.
- All exposed sheet metal, i.e. flashing, vent hoods to be copper or painted to match adjacent surfaces or approved material.
- Arrestors are to be hidden.

Antennae and Satellite Receivers.

Satellite dishes, television or radio aerials or antennas shall be installed with sensitivity to screening from the road, adjacent development, golf course, and public areas.

When a screen wall is provided, the screen wall is subject to Architectural Review approval and must be an integral component of the design. In some cases, the enclosure may not be approved due to the location and its visual effect on the overall street scape or as viewed from adjacent development, common areas, or the golf course. Umbrella covers over satellite dishes are prohibited.

Flags and Flagpoles

Flagpoles are permitted, however the size and location must be reviewed and approved by the LRDRB.



View looking toward Secret Pass Wash

Section Five:

Project Lighting Standards

Lighting can create the feeling of different environments within the same site. Because of the beautiful night time sky, lighting is limited to particular types and wattages. The intent is to make each development site a subtle environment from the street, the neighbors and the community, rather than focal points.

Pedestrian Pathways. There will be a network of meandering pedestrian pathways throughout the Project that will connect through the multi-family projects. The developer will be responsible for connecting to the pathway scheduled to occur adjacent to their property. Path material, width, and lighting shall be constructed to the design criteria established in the Laughlin Ranch Master Design Criteria. The path will be illuminated to minimum recommended levels in accordance with the IES Design Guide DG-5-94, “Recommended Lighting for Walkways and Class I Bikeways” in conjunction with the function and focus of the particular portion of the pathway. This will be accomplished using internally lighted bollards 36 inches tall installed approximately 60 feet on center along the pathway. The lighting source for these bollards will be a compact fluorescent lamp chosen for efficiency and the variety of available color choices.

Equestrian Pathways. The equestrian pathway running throughout the Project is intended to complement the Laughlin Ranch overall equestrian trail system. Although this trail is not intended to be lighted, consideration will be given to the horse and rider during the lighting design process in terms of physical placement and function of the lighting fixtures.

Surface Parking Areas. The surface parking in a multi-family development will be lighted in accordance with the surroundings. Keeping with the subdued nature of the Project, the illumination levels of the open parking area will be minimal but in accordance with IES Recommended Practice RP-33-99 “Lighting for Exterior Environment” and RP-20-98 “Lighting for Parking Facilities.” The fixtures chosen for the open parking area will be of an aesthetic design in keeping with the nostalgic preservation of the area. These fixtures and the associated aesthetically complementary support arms will be installed such that the bottom of the lighting fixture will reach no higher than 16 feet above grade. These parameters combined with the utilization of a 100 watt high pressure sodium light source for each fixture will create an environment congruous to the surrounding with every consideration to the public safety.

Landscape Lighting. Throughout the facility there will be landscaping elements offering aesthetic as well as practical application. Where lighted, each of these elements will be lighted using the low wattage (20 watts or less) halogen lamps in the MR 16 package. These lamps allow for utilization of low visual impact fixtures while maintaining the photometric control necessary for a safe and aesthetic installation.

Entry monument illumination will be restrained without sacrificing the observable nature of the entryways. This will be accomplished by utilizing low wattage (20 watts or less) halogen lighting in the smaller MR 16 or PAR 20 package. These lamps allow for utilization of low visual impact fixtures while maintaining the photometric control necessary for a safe and aesthetic installation.

Lighting Controls.

Lighting fixtures will be illuminated from dusk until dawn in the following situations:

- **Entryways and Monuments:**

The lighting associated with the entryways and monuments as well as any internal navigation signage is allowed to be illuminated from dusk until dawn. This will insure the after hours identification of the Project and is intended to provide local health and safety agencies safe operation throughout the project.

- **Parking Facilities:**

Parking facilities will be lighted with full illumination from dusk until dawn. Fixtures providing minimum security illumination allowable.

Lighting Design Objectives

- To preserve the nighttime dark sky minimizing the amount of exterior lighting.
- To utilize low intensity, indirect light sources to the extent required for safety and subtle drama.

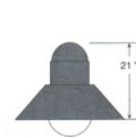
General Guidelines

- Exterior building lighting, either attached to or as part of the building, should be the minimum needed to provide for general illumination and security of entries, patios, and outdoor spaces.
- No “malibu” lights shall be permitted.
- No fluorescent lights shall be permitted.
- No colored bulbs are allowed except seasonal events.
- Subtle lighting of the driveway entry or address numbers is allowed.
- All lighting shall be installed or shielded so as to be aimed not to intrude on surrounding property or cause night sky pollution.
- Avoid lighting the surface of garage doors. Indirect lighting recessed into eaves above the side walls adjacent to garage doors or difused wall mounted light fixtures providing light on a wall surface. is encouraged. No lenses or exposed light sources are permitted.
- All lighting should be architecturally integrated into structures. All security lighting shall be motion activated and any flood lights shall be kept at a minimum located directly beneath overhangs.
- Exterior site lighting must be directed onto vegetation or prominent site features such as boulders or planting and not upon the building.
- Lighting of plant materials shall be achieved by utilizing lamps recessed into the ground or hidden by plant materials.
- Walkways designed for pedestrian circulation may be lit by low level pathway lights that incorporate a hidden light source.
- To preserve the dark sky, uplighting is allowed only into hard features and tree canopies.
- Only low voltage lighting fixtures with a maximum lamp of 40 watts may be used for all exterior lighting applications.
- Floodlights are allowed, but only if they are shielded and are installed with a motion detector.
- All lighting must be compatible for a residential environment and shall not in any manner constitute a nuisance, distraction and/or cause visual pollution. This paragraph shall not preclude normal balcony or patio lighting. No Outside high intensity discharge type lighting is permitted, including mercury vapor lights. All lighting must comply with applicable zoning ordinance requirements within Bullhead City.
- Exterior lights shall be mounted a maximum of 10 feet high on building surfaces.
- Light fixtures shall be a style approved by the LRDRB. Brass, carriage, etc... fixtures shall not be permitted. The source of light shall be concealed from view as to not disturb neighbors and streetscape.
- All exterior lighting is subject to City/County guidelines & applicable CC&R's.

Lighting Character



SL SR24 H5



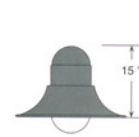
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DIMENSIONS: 30" DIAMETER



SL SH30-PM SL SHW30-PM(SHWN)

DIMENSIONS: 30" DIAMETER



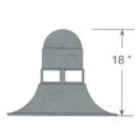
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DIMENSIONS: 22" DIAMETER



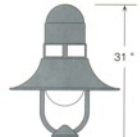
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DIMENSIONS: 22" DIAMETER



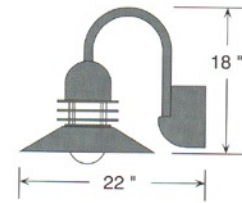
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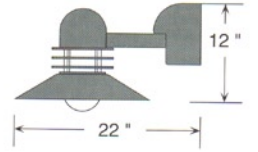


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DIMENSIONS: 22" DIAMETER



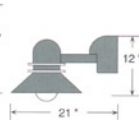
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SL SR16-SS



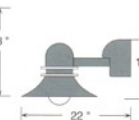
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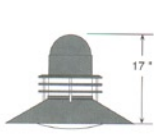
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ALLO 505S-CA

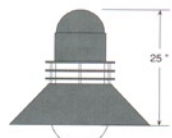


ALLO 505S-SS



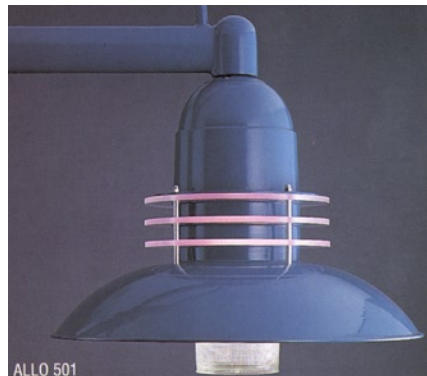
SL SR24

DIMENSIONS: 24" DIAMETER



SL SR30

DIMENSIONS: 30" DIAMETER



ALLO 501



Section Six: *Architectural Design*

Laughlin Ranch is envisioned to be artful community with open spaces, natural features, village commons and several other amenities. To carry out this beautiful image, architecture plays a Key role. Therefore, no one particular character is predetermined for the entire community. The creators of Laughlin Ranch realize that creativity and variety make up those places we enjoy being a part of. It is the details that make development beautiful. There are five residential architectural “styles” that are acceptable in Laughlin Ranch, including: Spanish Colonial, Hacienda, Ranch, Pueblo and Southwest Contemporary. Although these “styles” vary and can have different interpretations, community wide architectural design standards will assist in establishing an identity, that will blend together to form the artful community that is envisioned.

Special consideration should be used in developing low profile horizontally oriented facades by utilizing simple forms and construction. A minimum of two materials and a maximum of three materials to compose a facade is required. Trim and glazing materials may be considered in addition to the required material quantity.

Deep porches and overhangs with exposed structure will enhance the visual quality of the structure and will more readily achieve the intended architectural character of Laughlin Ranch.

Cultural Relevance

- Consider very strongly the cultural and historical relevance of the regional area in general and in whole.
- Overall appearance of the architectural expression shall draw not only from the local climate and terrain but from historically correct styles responsive and expressive throughout the rich history of the Southwest.
- Non-traditional, exotic, or “east coast” influenced architectural character is inappropriate and highly discouraged. Examples would include Tudor, Swiss Chalet, Gothic, French, Chinese, Moroccan, African, or Arabic.
- The resulting architectural expression should be profound in it’s approach and unique in it’s signature. It’s design integrity and expression of quality is highly influential on the overall fabric of the development and integrity of the whole.

Visual Impact

- The visual impact shall be minimal, choosing to be inconspicuous rather than dominating.
- The impact of the proposed design will be considered from vantage points near and far, and common ground points at, below and above the structure.
- The color, massing, shape, and texture of the structures are complimentary and sympathetic to the adjacent streetscape and natural surroundings.
- Exterior colors of all buildings (including stucco, trim, roof, doors, walls, and any landscape materials) must be approved by the LRDRB.
- The overall three dimensional composition of the structures should be an exercise in design restraint stressing subtle effective massing changes vertically and horizontally and avoiding meaningless changes of color, materials, rhythm, and/or form.
- Unbroken horizontal roof or wall planes of fifty feet or more are prohibited. At least every fifty feet wall or roof planes should contain additional setbacks with a different horizontal plane of at least four feet.
- The overall dimensional composition should convey logic, order, and visual integrity.
- Stepping down by at least one story in height on the ends of a building when adjacent to single-family dwelling units is required.

- Varied front yard setbacks and spacing between buildings is encouraged.
- The same or similar building elevations located next to each other or presented in a monotonous or repetitive fashion are prohibited.
- Buildings within a multi-family development should all share one identifiable architectural style as described in chapters 6-10 of the Multi-Family Design Guidelines. Rows of identical buildings will not be allowed. Variations in mass, color, roof forms, materials, or other facade deviations within one architectural style is required.
- Variety in coloring, trim, roof forms and other exterior expressions leaving the impression of a large estate home, or village cluster is encouraged.

Quality/Permanence

- Exterior material finished surface must be capable of withstanding the extreme temperature changes prevalent in the area.
- Exterior materials must maintain their original appearance or age in such a fashion that adds to the character and does not create a failure of structural or thermal integrity.
- Exterior materials should convey honest expression of innate integrity associated with it’s use and should not attempt to defy the laws of gravity or common sense.
- Application of exterior materials should express honesty and permanence while avoiding the look of being applied rather than integrated.
- Reflective materials are not allowed.
- Durability and visual integrity are to be considered as prime factors in selecting final products.
- Overall massing and aesthetics should convey integrity and quality of design.
- Designs shall be considered from all sides not just front or rear elevations, and all elevations should maintain a visual cohesiveness.
- Use of proportion to emphasize horizontality is encouraged.
- Multiple material elevations are required.
- When stucco systems are utilized, finish textures shall be smoother “Sand” varieties. No heavy textures such as “Spanish Lace” are permitted.

- To create visual interest from the street as well as adjacent buildings, all sides of a building must display a similar level of quality and architectural interest. The majority of design elements should not be primarily on one side.
- Major design elements, such as doors, porches, and prominent windows, should face the street or common open spaces.
- Building entries should be pedestrian scaled. A pedestrian scaled entry provides an expression of human activity or use in relation to building size.

Roof

- Roof Materials may include:
 - Painted Metal
 - Corrugated Metal
 - Copper (Non-Reflective)
 - Clay Tile
 - Wood Shakes
 - Concrete Tile
 - Slate
- Roof slopes are to be no less than 2:12
- Use of broad overhangs is encouraged.
- Flat roofs are permitted with minimum ¼” per foot minimum slope and all flashing, appurtenances, vents, and skylights adequately screened behind parapets of sufficient heights to do so.
- Projecting eaves are to be not less than 6” in thickness.
- Gutters may be of galvanized steel, copper or painted aluminum.
- Scuppers are allowed as long as they are integral to the architectural style of the house.
- Skylights are discouraged on sloped roofs, however the LRDRB may consider them with submission of fully detailed drawings showing location in plans and elevations.

Windows/Doors

- All elevations should contain windows except when necessary to protect the privacy of adjacent residences.
- Windows, Doors, and Garage Doors may be made of:
 - Wood/Painted or Stained
 - Steel (except front door)
 - Copper
 - Glass Block
- Windows and Doors should be insulated. Monolithic glass less than 3/8" thick is prohibited as well as any reflective surfaces.
- Divided lites are encouraged.
- Arched windows should be of all the same type.
- Exterior shutters the same size as adjacent opening are allowed.
- Iron grills are allowed.
- Awnings are allowed as long as designed integrally and compatible in style. Retractable styles must have wind sensors.
- Security gates will be permitted only with the approval of the LRDRB.
- Shade screens shall be colored to match home.

Colors:

Approved colors are illustrated in Section 15. Alternative colors complimentary to the approved colors may be used if approved by LRDRB. All colors are to have a light reflectance value (LRV) of 41 or less.

Section Seven: *Spanish Colonial*

Spanish Colonial Architecture in its contemporary form is one of asymmetrical composition, informal entrances, balconies and colonnades. It is a simple, yet elegant, design with refined details in the fascias, windows and walls. Limited openings and details lend themselves to elegant, understated focal points and views. Often times, the use of exterior staircases and tower elements compliment the visual interest to the building. With one primary building mass and several “wings”, courtyards and terraces are formed to blend with natural grade and create outdoor living spaces. These are essential for viewing the spectacular sunrises and sunsets with friends or for those private, almost spiritual moments. Typically the main building mass is an L, U or H shaped mass with an entry terrace with an arched entry element. The use of a circular or square entry tower can be used as a vertical element to create an interesting visual approach. Often times, the use of second-story balconies is used to break up the large primary mass. Shed and gable roofs forms are the defining rooflines used for this design.

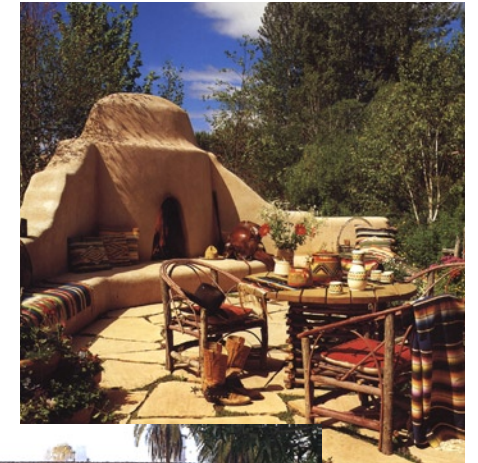
- Major architectural elements

- Roof forms are typically shed or gable with limited conical roofs. Tile should be used as the roof material.
- Structural supports are typically arched arcades with pre-cast concrete or canterra columns with the use of corbels, beams and rafter tails. Stucco pilasters with decorative trim with arches are also used.
- Exterior materials are usually limited to one primary material with subsequent materials used only as accents around window headers and sills. Stucco eave details and exterior walls are characteristics of this designs, however, painted or whitewashed brick may be used with color, size and texture approval.

- Accent and Detail elements

- If arched windows and doors occur, they should have a full round arch shape with divided lites. They can be square, rectilinear, round or oval in shape. French doors should have divided lites as well. Windows should be non-reflective and non-mirrored.
- Trim details should include exposed wood rafters and stucco cove details. Chimneys should be simple in design and unornamented. Gable end vents should be decorative.
- Railings, gates, grilles and fences should be wrought iron or metal.
- Site walls should match the exterior material of the home and should have a simple, understated cap.

Spanish Colonial & Mission Architecture



Section Eight: *Hacienda*

Hacienda architecture is primarily designed around a central courtyard as a focal point. Because of the climatic conditions in Arizona, this type of architecture has been used for many years to help compromise the desire for outdoor living with extreme temperatures. The central courtyard typically has a traditional water feature and canopy trees to enhance the beauty of being in this outdoor space. Typically this architectural design has two predominant exterior materials, stone and exterior plaster, to maintain its rustic connection to the past. The roof can be clay-tiled or flat, with timber elements and exposed rafter tails. Parapet walls are capped with artful masonry and stone details. Vertical accent elements are typically stone to give the appearance of a horizontal architectural profile. This architecture is more casual and informal than the Spanish Colonial architecture. Hacienda buildings are L, U or H shaped and forms around a central courtyard. Covered terraces are typically used to transition from one-story to two-story building masses. Separate building masses should be linked with covered walkways for a horizontal appearance.

- Major architectural elements

- Roof forms can range from shed and gable to flat. No conical roofs are present. Typically, these homes have some flat roof masses for accent or are entirely designed with flat roofs.
- Structural supports are typically square wood posts (minimum 8"x8") with corbels, beams and rafter tails. Square masonry or stucco pilasters are used and columns can be round pre-cast or stone.
- Exterior materials are usually stucco with stone accents that are used to provide distinct contrast to the stucco material. The use of natural earth tone brick may be used upon color, size and texture approval.

- Accent and Detail elements

- Windows and doors should be rectilinear or square in shape. They can be arched, but only in selected configurations. The use of planked shutters should be limited. French doors should have divided lites as well and should be used in applications other than the primary entrance door. Windows should be non-reflective and non-mirrored
- Trim details should include exposed wood rafters. Chimneys should be simple in design and unornamented. Gable end vents should be decorative.
- Railings, gates, grilles and fences should be wrought iron or metal.
- Site walls should be stone or an approved size, color and textured brick with a simple, understated cap.

Hacienda Architecture



Section Nine: *Ranch*

Ranch architecture is most commonly associated with the southwest because of its strong influences to the historical ranch heritage. With its horizontal design, large overhangs, front porches and natural materials, the character of Ranch homes is found throughout the state and reminiscent of the past. Typically these homes are rectilinear, L or H shaped in design to provide a street presence. Much like the Hacienda architecture, Ranch designed homes are informal and allow for a casual, inviting atmosphere. Courtyards, porches, shaded patios and raised terraces are typically oriented toward to the street to also aid in the inviting character of these homes. Many times, these spaces are used for entertaining guests.

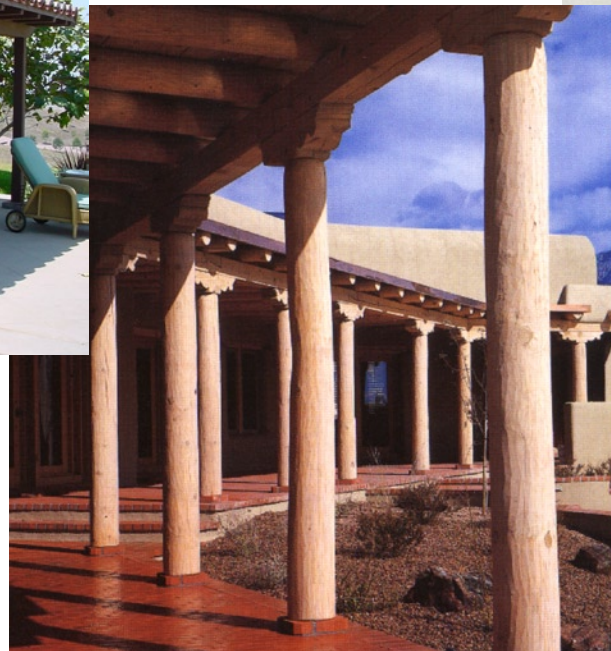
- Major architectural elements

- Roof forms are primarily gable roofs. However, limited use of shed or hip roofs may be used over patios and porches. Typically the roof material is clay tile.
- Structural supports are typically square wood posts (minimum 8"x8") with corbels, beams and rafter tails. Square masonry or stucco pilasters are used and columns can be round pre-cast or stone.
- Exterior materials are usually stucco with stone accents that are used to provide distinct contrast to the stucco material. The use of natural earth tone brick may be used upon color, size and texture approval.

- Accent and Detail elements

- Windows and doors should be rectilinear or square in shape. They can be arched, but only in selected configurations. The use of planked shutters should be limited. Tiled roof awnings may be used over windows. French doors should have divided lites as well and should be used in applications other than the primary entrance door. Windows should be non-reflective and non-mirrored
- Trim details should include exposed wood rafters. Chimneys should be simple in design and unornamented. Gable end vents should be decorative.
- Railings, gates, grilles and fences should be wrought iron or metal.
- Site walls should be stone or an approved size, color and textured brick with a simple, understated cap.

Ranch Architecture



Section Ten: *Pueblo*

Pueblo architecture has roots that go back to the Native Americans that settled in the Southwest. Utilizing what was available, Adobe was the most common building material for these homes. The Adobe was a good material for the hot days and the cool nights of the desert. Today, Pueblo architecture is still present throughout Arizona, although adobe is not always used. Pueblo homes are typically long, low rectilinear plans with flat roofs.

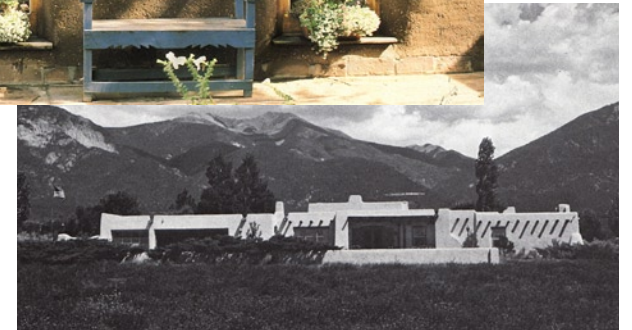
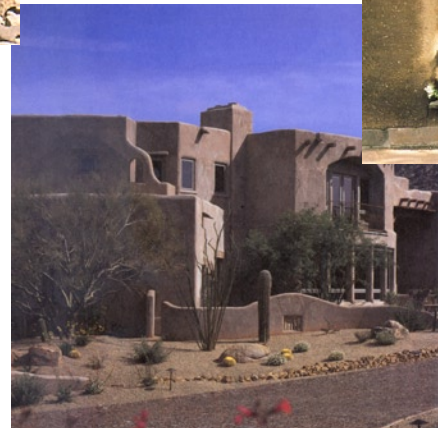
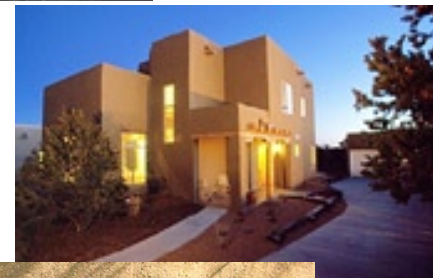
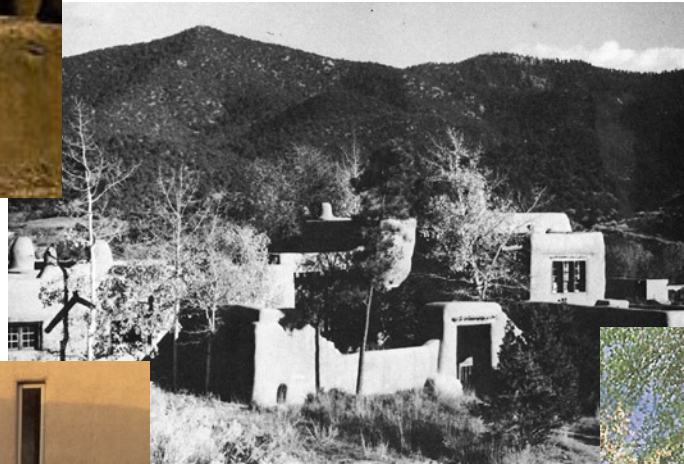
- Major architectural elements

- Roof forms are primarily flat roofs. However, limited use of shed or hip roofs may be used over patios and porches. Typically the sloped roof material is clay tile.
- Structural supports are typically wood posts with corbels and beams. Square or round pilasters are used and columns can be wood, stucco or stone.
- Exterior materials are usually stucco with stone accents that are used to provide distinct contrast to the stucco material. The use of natural earth tone brick may be used upon color, size and texture approval.

- Accent and Detail elements

- Windows and doors should be rectilinear or square in shape. They can be arched, but only in selected configurations. The use of planked shutters should be limited. Tiled roof awnings may be used over windows. French doors should have divided lites as well and should be used in applications other than the primary entrance door. Windows should be non-reflective and non-mirrored
- Trim details should include exposed wood rafters. Chimneys should be simple in design and unornamented. Gable end vents should be decorative.
- Railings, gates, grilles and fences should be wrought iron or metal.
- Site walls should be stone or an approved size, color and textured with a simple, understated cap.

Pueblo Architecture



Section Eleven:

Southwest Contemporary

Southwest Contemporary architecture is open to interpretation, but is mainly characterized by materials and finishes. It is sensitive to the existing landscape, landforms and climate. Much like the ranch style, Southwest Contemporary utilizes large overhangs to mitigate climate and encourage outdoor living. Many times, this style of architecture tries to create a feeling of bringing the outdoors inside. Various materials are used, including: gabion walls, concrete, rammed earth, masonry, rusted metal and zinc. However, all of the materials used are kept their “raw” or unfinished form to age naturally and further blend into the desert surroundings as time progresses. Shiny materials and bright colors are usually avoided except to create an accent that clearly contrasts the muted colors of the desert. The homes are generally angular and linear to mimic the sharp angles of the desert mountains, rocks and other forms. They are also typically one story to maintain a low profile and appear to be a part of the desert.

- Major Architectural Elements

- Roof forms can vary in shapes. Arched, shed and flat. Typically these roofs are metal and unfinished to create a dark color that will blend into the desert as they are exposed to weather.
- Structural supports are typically square or round with simple design. Corbels and ornament are eliminated from design to create a finished look.
- Exterior materials can be a wide variety of materials. The key is to have an unfinished, natural, low reflective material to help the design blend into the desert.

- Accent and Detail elements

- Windows and doors can be a variety of shapes and sizes. They can have a deep recess to give the appearance of thick walls and respond to the hot climate. Typically, windows do not have divided lites to give the appearance of a modern building and a finished look.
- Trim details should be simple and non-ornamental. Chimneys should also be simple in design and unornamented.
- Railings, gates, grilles and fences should be a rusted metal to further blend into the desert.
- Site walls should be stone or another simple material with no ornamentation or cap.

Southwest Contemporary



Section Twelve: *Landscape Design*

Landscape Design is equally important to the character of a development as the architecture itself. The vision of Laughlin Ranch is to integrate with the desert rather than make a statement on the desert. Landscape will play a key role in creating a seamless transition to the undisturbed areas. Landscaped areas should be designed to be inviting and provide beautiful streetscapes. Context will play an important role as well to avoid contrasting styles and add to the overall character of Laughlin Ranch. Laughlin Ranch encourages that designs include low water usage vegetation. Approved plant lists are provided and give the developer and designer a variety of options to create beautiful landscapes.

These Landscape Design Standards are intended to enhance the Mohave Desert setting, provide welcome shade throughout the community, and establish continuity throughout the community.

Landscaping should be an integral design element in all multi-family projects. It is a visible indicator of quality development and should not only enhance the project itself, but also relate to the community in which it lies. Landscaping should be used to improve the existing landscape; define major entry ways, circulation routes, and open space area; buffer less intensive land uses; and create visual interest.

Minimum Plant Requirements

In order to maintain a consistent landscape theme throughout the community, an approved plant list and granite colors have been developed from which the property developer shall select their front yard and open space landscape palette. The specific design intent designates similar granite colors carried over an entire street scene, to establish subtle continuity. Plants within the list have been selected for their attractiveness, hardiness, regional character and relatively low water use.

The builder is required to install all landscaping for a multi-family development, except when the units have private rear yards that are fenced off from the rest of the property and/or common open spaces. Trees and plants can be spaced throughout the development as desired. It is recommended to plant in higher densities along public right-of-ways and front yard setbacks.

The minimum quantity and size of landscaping materials required is based on the actual square footage of the landscape area. The landscape area is determined by measuring all areas within the property line that are not being utilized for driveways, buildings, parking, hardscape elements. Minimum plant requirements shall be determined by the following tables:

Plant Type	Min. Size	Min. (Plants per S.F of Landscape Area)
Trees	24" box	2:3,000 S.F.
	15 gal	1:3,000 S.F.
Shrubs	5 gal.	1:200 S.F.
	1 gal.	1:100 S.F.

Street Tree

In addition to the landscaping listed above, developments have a street tree requirement as listed below:

- 1 - 36" box tree for every 40' of street frontage
- Street trees are pre-selected to lend unique identity to individual streets. Confirm pre-selected street tree from the LRDRB.

In addition to open space landscaping, surface parking areas require the following minimum landscape density for every ten

parking spaces or a portion thereof:

- 1 - 24" box tree. Trees located in the interior of a parking area shall have a clear trunk of at least five feet in order to provide adequate visibility.
- 2 - 5 gallon shrubs
- 2 - 1 gallon shrub
- Landscaped areas shall contain a minimum of twenty-five square feet and have a minimum width of five feet.

Planting shall be arranged in simplistic random masses that provide medium height foundation planting, accentuate entries, maintain proper sight visibility for street traffic, and respect neighbors' views. Whenever possible, tree and foundation shrub varieties shall be designed to blend with adjacent buildings or adjoining open space. Plants must be selected from the Approved Plant List provided within these guidelines. Maintenance of all landscape and irrigation is the responsibility of the property owner.

Property developer and/or Landscape Contractors are required to maintain certain precautions. Irrigation trenches and emitters are to be located to maintain 20" minimum clearance from foundations. Grades along foundations shall slope away from structures, to allow unobstructed drainage and eliminate potential conflicts.

Public Street Frontage Design

The design and installation of public street frontage landscape is to be completed within 60 days of receipt of certificate of occupancy provided by City/County. The landscape installation will be inspected within 10 days of completion, with written confirmation of conformance by the LRDRB. The following are clarifications and minimum guidelines for public street frontage landscape design.

- Grading: Landscape installation shall not obstruct drainage through the lot as established by the Civil Engineer. Sharp edges and corners of all slopes shall be graded softly to reflect the character of the natural setting and establish smooth transitions to any adjacent building, residence or open space. Landform should be simple with broad, gradual transitions without bumps, isolated mounds, or engineered rip-rap banks. Low walls, integral to architecture, and stone walls or terraces may be approved if they exhibit a purposeful design relationship to landscape and architecture.
- Berming or gentle mounding of public street frontage landscape is recommended but not required. Height of berm shall not exceed 16" above established engineered grade. Shape of berms shall be smooth and random with variable side slopes (5:1 - 8:1) feathered to blend into adjacent grade conditions. Flexibility in berm height and slope will be given as long as it still has a natural appearance and blends into adjacent grades.
- Landscape maintenance is required by property owner to ensure healthy, neat, and weed-free landscape for the benefit of the larger community. Over-grooming, including shearing and "poodle" pruning, is prohibited.
- Decomposed granite shall be used to top dress all

front yard landscape areas, with at least one application of pre-emergent herbicide. It is the property owner's responsibility to keep landscape areas weed free at all times. The specified granite is 1" minus (if available), or 3/4" minus "Mohave Gold", "Mineral Park Gold", "Desert Gold", "Aztec Bronze", and spread 2" deep over prepared sub-grade. Decomposed granite shall be graded uniformly along all walls, walks, and curbs.

- Each development to select one variety of decomposed granite (size and color) to maintain natural and continuous appearance throughout. Confirm pre-selected decomposed granite with LRDRB.
- The use of headers as an individual element to divide or define property edge is prohibited.
- Property owner, or designated contractor, assumes liability for any disturbance along foundations, waterproofing to the structure or any perimeter walls.
- Construction shall be completely contained within each development unless otherwise approved by the LRDRB.
- Landscaper must review site with builder representative prior to beginning work to note actual site conditions or discrepancies.
- Shrub and ground cover varieties shall be clustered in random solid masses.
- Select plants for alternating seasons of display and color. (8 varieties maximum per development)
- Property owner to select low growing ground cover along driveway and street frontages to maintain site visibility.
- Boulders may be incorporated into the landscape design, however shall be clustered and limited to surface select granite type. Boulders shall be clustered with varied sizes, buried 1/3 below grade and incorporated with grades to mimic a natural outcropping. Boulders may not exceed 3' in height (above street curb) and shall have a natural oval

character that is compatible with specified decomposed granite. Colored and lava rock are prohibited.

- The use of river rock for non-functional decorative swales is prohibited.
- The use of polyethylene film below granite is prohibited.
- Property owner may use low voltage lighting to highlight entry walks, or accentuate trees. See lighting section of Design Guidelines for a more detailed description of lighting allowed.
- Special design features such as low walls, trellis, water features, upgraded driveway and walks, or other structures are encouraged, but must be approved in advance by the LRDRB. Accent walls cannot exceed 30" (without specific approval) and must be finished to match building finishes.
- The use of seasonal annual color or potted plants is encouraged along entry walks or patios.
- Address identification shall be located adjacent to dwelling units main entry.

Private Area Design

Private area landscaping, when applicable, is the sole responsibility of the dwelling unit owner. Private area landscape is defined as all areas within the individual dwelling unit's wall enclosure. Irrigation water supply and electrical service is to be fed from the residents services, per local code. Dwelling unit owners are responsible for maintaining grading and drainage away from the building as provided by the builder.

Private Area landscape design is per the discretion of each dwelling unit owner as long as it does not compromise views or impact adjacent residences or open space.

Perimeter fencing shall not be disturbed by construction or

installation of rear yard improvements. Turf areas are not allowed within 24” of the building or perimeter walls. Vegetation species in private areas are flexible with the exception of prohibited plants.

Developments with view fences adjacent to common areas shall verify visual compatibility from adjacent open space. Pool equipment must be located away from view fence and concealed from view.

- Any permanent structures 60” and above, shall be submitted to the LRDRB prior to construction. LRDRB will review and provide written comments back to the applicant within thirty (30) days. The review will evaluate any conflicts with specific site conditions or impact on adjacent development and views. The following are general items that should be incorporated into all landscape designs:
- Developers are encouraged to upgrade size and or quantity based on actual development size, orientation and design intent. Trees must be located and maintained to reasonably respect neighbor’s views, including open pruning or thinning.
- Property Owners are responsible for maintaining drainage established by the Civil Engineer.
- Backwashing pools or water features through walls into open space is not permitted.
- Property owner assumes liability for any disturbance along perimeter walls. No improvements shall touch these structures.

Irrigation Design

With an average rainfall of less than four inches, plant material requires a supplemental irrigation system to sustain plant life yet preserve our precious water supply. Landscape irrigation is to be provided with an automatic irrigation system compatible with landscape designs. Time clocks should be cycled for efficient deep watering. Turf areas (if used) shall have spray irrigation with 100% head to head coverage, designed to minimize overspray onto any pavement or granite area.

All landscape areas shall be watered by an underground drip system to provide slow, deep watering. The following are specific irrigation requirements:

- Irrigation design and installation must satisfy all local codes.
- Irrigation equipment shall be located in an inconspicuous location out of view from public streets.
- All irrigation equipment must be screened from adjacent properties and streets.
- Turf valves shall have flow controls and be concealed in planting (outside of grass areas).
- Drip tubing shall be buried on uphill side of plant.
- Verify sleeves under driveway and walks, recommend 3” – Sch 40 PVC, buried 12” – 18” deep.
- Turf spray heads shall have adjustable arc and radius to minimize over spray.

- Backflow prevention assembly must be installed per City of Bullhead local codes. (Anti-siphon valves are not allowed)
- Organize irrigation valves so plants with similar watering requirements are watered together.

Construction Standards

Owner shall maintain construction site in a clean, debris-free condition and shall ensure safe passage on sidewalks and street. Materials stockpiling should occur on the Owner’s property. If unavoidable, materials stockpiling on street or walks must be for a reasonably brief period with proper traffic warning, and paving surfaces must be covered with plywood to protect paving from scuffing or gouging. Owner is responsible for cleaning and/or repairing any damage to sidewalk and street paving.

Maintenance Standards

Owner shall maintain landscape in neat, weed-free condition. Plants are to be selected and located to allow natural growth habit with a minimum of trimming. In front yards, regular shearing is discouraged. Poodling, pollarding, or topping of trees is prohibited. Trees must be pruned to lift canopies and maintain relatively open structure to enhance neighborhood views.

Submittal Requirements:

Preliminary submittal, is encouraged to streamline the Owner’s effort and approvals. Preliminary submittal should include:

- A concise design concept statement
- A basic site diagram showing grading and drainage

Final Submittal shall require:

- A concise design concept statement
- Landscape plan at 1/8" = 1' scale, showing:
 - Title information with Owner's name and phone number, preparer's name, if any, and phone number, lot number and address, scale, north arrow, and date.
 - Building exterior wall with door/window openings, site walls, fences, property and easement lines, sidewalk, parking areas and curb at street.
 - Names and sizes of plants and all other materials and paving, including colors. Plant symbols shall be shown at projected maturity of three to five years growth for shrubs and trees respectively.
 - Grading concept, including drainage provisions and erosion control treatment, with contours and section(s) as needed to clearly communicate the intent of site grading.
 - Notes on irrigation and lighting regarding type of system and compliance to standards.
 - Approximate schedule and date of completion.

If final submittal is missing key information or does not reasonably satisfy the standards above, the submittal will be considered void and re-submittal will be required. If re-submittal is substantially substandard, the committee may also require that the Owner retain professional services in preparing a re-submittal. Owner shall allow 10 days for the approval process. Approval will be provided in writing.

The following is a select list of plant material that Homeowners shall select from for front yard landscape design. The Homeowner and/or Landscape Designer shall select a maximum of eight (8) plant varieties that best addresses actual exposure, site condition and individual preferences.

Section Thirteen:

Approved Plant List and Landscape Exhibits

Botanical Name

Common Name

Trees

Acacia species	Acacia varieties
Cercidium species	Palo Verde
Chilopsis linearis	Desert Willow
Dahlbergia sissoo	Sissoo Tree (rear yard only)
Dalea spinosa	Smoke Tree
Geijera priflora	Australian Willow
Lysiloma thornberi	Feather Tree
Olneya tesota	Ironwood
Pithecellobium species	Texas Ebony
Propolis chilensis	Chilean Mesquite
Prosopis velutina (juliflora)	Velvet (native) Mesquite
Sophora secundiflora	Texas Mountain Laurel (rear yard only)

Accents

Agave species	Agave
Aloe species	Aloe
Asclepias subulata	Desert Milkweed
Dasyliion wheeleri	Desert Spoon
Dasyliion acrotriche	Green Desert Spoon
Hesperaloe Funifera	Giant Hesperaloe
Hesperaloe parviflora	Red yucca
Muhlenbergia rigens	Deer Grass Varieties
Nolina bigelovii	Beargrass
Yucca species	Yucca varieties

Shrubs/ Groundcover/ Vines

Acacia redolens 'D.Carpet'	Desert Carpet Acacia
Ambrosia deltooides, A. dumosa	Triangle-leaf and White Bursage
*Asparagus densiflorus 'Myers'	Foxtail Fern
Bahia absinthifolia	Bahia, Desert Daisy
Baccharis hybrid 'Starn'	Thompson Baccharis
Baileya multiradiata	Desert Marigold
*Bougainvillea 'B. Karst'	Bush Bougainvillea (rear yard only)
Caesalpinia pulcherrima	Red Bird of Paradise
Calliandra californica	Baja red Fairy Duster
Calliandra eriophylla	Pink Fairy Duster
*Carissa grandiflora 'Tuttlei'	Natal Plum
Carnegie gigantea	Saguaro
Cassia Oligophylla	Outback Cassia

Botanical Name

Common Name

Cassia phyllodinea	Silvery Cassia
Celtis pallida	Desert Hackberry
Cereus species	Columnar cacti, (Organ Pipe, etc...)
Chrysactinia mexicana	Damianita
Convolvulus encorum	Bush Morning Glory
Cordia parviflora	Little Leaf Cordia
Dalea capitata 'Sierra Gold'	Sierra Gold Dalea
Dalea frutescens 'Sierra Negra'	Black Dalea
Dalea Greggii	Trailing Indigo Bush
Dyssodia species	Dyssodia
Echinocactus, Ferocactus species	Barrel Cactus
Echinocereus englemannii	Hedgehog cactus
Encelia farinosa	Brittlebush
Ephedra species	Mormon Tea, Ma-huang
Ericameria laricifolia	Turpentine Bush
Erimophila Spp. 'Valentine'	Valentine Bush
Ermophila variety	Silver Streak
Eriogonum Fasciculatum	Sulphur flower
*Ficus Pumila	Creeping Fig (Fig Vine)
Euphorbia myrsinites or rigida	Prostrate Euphorbia
Euphorbia Rigida	Gopher plant
Fouquieria splendens	Ocotillo (Credit as 5 gallon shrub)
Gutierrezia sarothrae	Snakeweed
Hibiscus coulteri	Desert Rose-mallow
Hymenoxys acaulis	Angelita Daisy
Justicia species	Chuparosa, etc...
*Lantana camara 'New Gold'	New Gold Lantana
*Lantana montevidensis	Purple Lantana
Leucophyllum laevigatum	Chihuahuan Sage
Leucophyllum frutescens 'heavenly'	Heavenly Cloud Texas Sage
Leucophyllum langmaniae	Rio Bravo Texas Sage
Leucophyllum species	Sage Varieties
Lophocereus schottii	Totem Pole Cactus
Lycium species	Wolfberry
Lupinus species	Lupine
Melampodium leucanthum	Blackfoot Daisy
Muhlenbergia species	Deer Grass
Mimosa species	Mimosa
Mascagnia lilacina	Lavender Orchid Vine
Mascagnia macroptera	Yellow Orchid Vine
*Myrtus communis 'Microphylla'	Dwarf Myrtle

Botanical Name

Oenothera caespitosa
Opuntia species
Pedilanthus macrocarpus
Penstemon superbus
Penstemon palmeri
Penstemon parryi
Penstemon superbus
*Pittosporum tobira dwarf
Podranea ricasoliana
*Pyracantha fortunea
*Rosa banksiae 'Lutea'
Rosmarinus officinalis
*Ruella brittoniana 'Katie'
Ruella peninsularis
Salvia clevelandii
*Salvia coccinea
*Salvia greggii
Salvia leucantha
Simmondsia chinensis
Sphaeralcea ambigua
Stachys coccinea
Tagetes palmeri (Lemmon)
Tecoma stans
*Tecomaria capensis
*Trachelospermum jasminoides
*Tulbaghia violacea
*Vauquelinia californica
Verbena gooddingii
Verbena rigida
Verbena pulchella
Viguiera deltoidea
Wedelia trilobata
*Xylosma Cong. 'Compact'

Common Name

Evening Primrose
Cactus varieties
Slipper Plant
Superb Penstemon
Palmer's Penstemon
Parry's Penstemon
Superb Penstemon
Wheeler's Dwarf Pittosporum
Pink Trumpet Vine
Pyracantha
Lady Banks Rose
Trailing Rosemary
Ruella 'Katie'
Desert Ruellia
Chaparral Sage
Cherry Sage
Red Salvia
Mexican Bluesage
Jojoba
Desert Globemallow
Texas Betony
Mt. Lemmon Marigold
Yellow Bells
Cape Homeysuckle
Star Jasmine
Society Garlic 'Purple'
Arizona Rosewood
Goodding's Verbena
Sandpaper Verbena
Rock Verbena
Goldeneye
Wedelia
Compact Xylosoma

**Restricted to enclosed entry/ courtyard/ rear yard*

Note: Other species, not listed above or on list of prohibited plants may be submitted for review and approval.

Prohibited Plant List

- Palms with a mature height of 6' max. allowed in rear yards only.
- Fruiting Olive and Mulberry trees are prohibited.
- Fountain Grass is prohibited due to invasive character.
- Common Bermuda is prohibited due to its invasive character.
- Citrus: Dwarf varieties are permitted within screened rear yards only.
- Cupressus and Juniperus, Cypress and juniper: Low varieties permitted within screened rear yards only.
- Oleander species: Dwarf varieties permitted within screened rear yards only.
- Parkinsonia aculeata Mexican Palo Verde
- Phoenix dactylifera Arab Date Palm
- Pinus species Pine
- Populus Cottonwood
- Schinus molle California Pepper
- Tamarisk Salt Cedar
- Turf in front yards is prohibited. Only sterile hybrids are permitted in rear yards.

Prohibited Landscape Materials

Lava rock (except local field stone, permitted), volcanic cinders, white marble or light travertine, and bright, artificially-colored or screened (even-size) gravels are prohibited outside of screened enclosures. Permitted materials include decomposed granite in desert hues, rock and boulders that are reasonably similar in color to regionally indigenous materials.

Section Fourteen:
Construction Requirements

Construction Regulations

The preservation of the natural areas of Laughlin Ranch is critical to the community. In order to ensure that the natural area of each homesite is preserved to the maximum extent possible and the nuisances inherent to any construction process are kept to a minimum, the following regulations shall be strictly enforced during the construction period of all improvements at Laughlin Ranch. The Owner of a homesite shall be responsible for violations of the Design Guidelines, including construction regulations contained therein, by any contractor, subcontractor, agent, or employee performing any activities on behalf of the Owner within Laughlin Ranch, whether located on the homesite or elsewhere within Laughlin Ranch.

OSHA Compliance

All applicable Occupational Safety and Health Act (OSHA) regulations and guidelines must be observed at all times.

Construction Trash Receptacles & Debris Removal

Owners and builders shall clean up all trash and debris at the end of each day; an approved trash receptacle must remain on the site at all times for this purpose to contain all lightweight materials or packaging. The receptacle must be positioned on the site alongside the access drive, clear of side and rear setbacks, adjacent road right(s)-of-way and neighboring properties. Trash receptacles must be emptied on a timely basis to avoid overflow of refuse; disposal shall be at a suitable off-site facility. Owners and builders are prohibited from dumping, burying, or burning trash anywhere on the homesite or in Laughlin Ranch. Heavy debris, such as broken stone, wood scrap, or the like must be removed from the site immediately upon completion of the work of each trade that has generated the debris.

All concrete washouts, from both trucks and mixers, must occur within a contained area of the Building Envelope of the homesite in a location where it will be ultimately concealed by structure or covered by backfill. Concrete washout in road rights-of-way, setbacks or on adjacent properties is strictly prohibited and subject to a significant fine.

During the construction period, each construction site shall be kept neat and shall be properly policed to prevent it from becoming a public eyesore or detriment to other homesites or open space. Any clean-up costs incurred by the Laughlin Ranch Design Review Board or the Association in enforcing these requirements shall be payable by the Owner. Dirt, mud, or debris resulting from activity on each construction site shall be promptly removed from public or private roads, open spaces and driveways or other portions of Laughlin Ranch.

Sanitary Facilities

Each Owner or builder shall be responsible for providing adequate sanitary facilities for construction workers. Portable toilets must be located within the Building Envelope, clear of all setbacks and in a discreet location approved on site by the Laughlin Ranch Design Review Board.

Vehicles and Parking Areas

Construction crews will not park on, or otherwise use, undeveloped portions of homesites or open space. All vehicles shall be parked within an agreed upon area by the Laughlin Ranch Design Review Board. During very busy construction periods involving multiple trades such that all construction vehicles cannot be confined to the site proper, the overflow vehicles may be temporarily parked along the shoulder of the roadway; in locations and for time periods solely as approved by the LRDRB. During these periods the road must allow continual unconstrained access by normal traffic and emergency vehicles, including fire trucks. Where parking on the shoulder occurs all damage to the shoulder and landscape must be repaired by the contractor continually and not left for the end of construction. Vehicles may not be parked on neighboring homesites, in nearby driveways or on open space. Changing oil or other vehicle maintenance or fixing is prohibited.

Erosion Control

During construction, measures must be taken to eliminate erosion. The following outlines the required, in-the-field construction methods that must be performed by the contractor. All measures utilized must comply with city/county ordinances, which all contractors should familiarize themselves with.

- Temporary run-off channels must be built to drain construction zones; in areas draining two acres or less, channels must have silt screens installed at appropriate locations; silt screens should be stretched across and anchored to the bottom of the channels with hay bales placed on the upstream side of the fabric; where watershed above the site exceeds two acres, temporary earthen berms or ditches for channeling must be used in conjunction with silt screens.
- All storm drain inlet structures must be protected by a filter berm until the area is stabilized with vegetation or the base course of pavement is installed.
- Weather permitting, all embankments constructed as part of cut/fill operations will be seeded and mulched within one week of final grading completion. Note this is work that is better performed in the fall.
- Weather permitting, all building site areas must be seeded and mulched within one week of final grading completion.

Excavation Materials and Blasting

If any blasting is to occur, the LRDRB must be notified two weeks in advance and appropriate approvals must be obtained from city/county and the LRDRB. Blasting may only be done by licensed demolition personnel, with all requisite insurance coverage's as mandated by county and state statutes, specific to their blasting activity at Laughlin Ranch. Laughlin Ranch must be named as an additional insured. The Laughlin Ranch Design Review Board shall have the authority to require in writing documentation of anticipated seismic effects, with confirmation such effects will not be injurious to other persons or properties, public or private, and that all appropriate protection measures have been utilized. The LRDRB may require additional insurance to cover potential damages from blasting to subdivision improvements and common areas.

All excess material resulting from blasting, as well as all other excess excavation materials, must be promptly removed from Laughlin Ranch.

Dust and Noise Control

The contractor shall be responsible for controlling dust and noise from the construction site, including the removal of dirt and mud from public or private roads that is the result of construction activity on the site.

The sounds of radios or any other audio equipment used by construction personnel must not be audible beyond the property perimeter of any homesite; repeated violations of this provision will precipitate a total prohibition of any on-site use of radios or audio equipment during construction.

Firearms

The possession or discharge of any type of firearm by construction personnel on any construction site, homesite, common area parcel or right-of-way at Laughlin Ranch is prohibited. Anyone in possession of a firearm will be permanently restricted from Laughlin Ranch and fined.

Alcohol and Controlled Substances

The consumption of alcohol or use of any controlled substance by construction personnel on any construction site, homesite, common area parcel or right-of-way at Laughlin Ranch is prohibited and subject to a fine.

Fires and Flammable Materials

Careless disposition of cigarettes and other flammable materials, as well as the build-up of potentially flammable materials constituting a fire hazard, are prohibited. At least two 20-pound ABC-Rated Dry Chemical Fire Extinguishers shall be present and available in a conspicuous place on the construction site at all times.

No on-site fires are allowed, except for small, confined, attended fires for the purposes of heating masonry water.

Pets

No pets, particularly dogs, may be brought into Laughlin Ranch by a member of any construction crew.

Preservation of Property

The use of or transit over any other homesite, common area or amenity, including the golf course, is prohibited. Similarly, the use of or transit over the natural area or setbacks outside the Building Envelope of any homesite is prohibited. Construction personnel shall refrain from parking, eating, depositing of rubbish or scrap materials (including concrete washout) on any neighboring homesite, common area parcel, or right-of-way.

Protection of Subdivision Improvements and Restoration of Property

Each Owner shall be responsible for the protection of all subdivision improvements, roadways, common areas, golf improvements, or improvements of any other homesite which may be damaged by the activities of such Owner's contractor,

subcontractor, agents, or employees.

Upon completion of construction, each Owner and builder shall clean his construction site and repair all property which has been damaged, including but not limited to, restoring grades, planting shrubs and trees as approved or required by the LRDRB, and repair of streets, driveways, pathways, drains, culverts, ditches, signs, lighting and fencing.

In addition, the Owner and general contractor shall be held financially responsible for site restoration/ revegetation and refuse removal necessitated on any and all adjacent properties as a result of trespass or negligence by their employees on sub-contracted agents.

Construction and Real Estate Signage

Temporary construction signs shall be limited to one standardized sign per site. A copy of the standardized sign requirements will be given out during the pre-construction conference. Along with a list of sign companies permitted to make the sign. This sign is intended for job site identification only; therefore, it must be located within the Building Envelope, facing the street frontage of the homesite. The construction sign may not be erected on a site earlier than two weeks prior to the onset of continuing construction activity and must be removed within two weeks of the issuance of a certificate of occupancy by the city/county, or immediately upon the passage of 30 calendar days without significant construction activity.

Individual signs, or construction sign attachments, identifying individual sub-contractors, tradesmen, or suppliers are prohibited; identification of licensed tradesmen, when required by state or city/county statutes, shall be confined to the posting location of the building permit.

Attachment of signs or similar material to trees is strictly prohibited.

Daily Operation

Daily working hours for each construction site shall be from 30 minutes before sunrise to 30 minutes after sunset. Construction activity which generates noise audible from the boundaries of any homesite, such as hammering, sawing, excavation work, concrete delivery, etc..., must be confined to the hours of 7:00 a.m. to 7:00 p.m., Monday through Friday, and 8:00 a.m. to 7:00 p.m. on Saturday. Noisy activity is prohibited on Sunday of each week, particularly during the summer period of high Owner/visitor occupancy.

Site Visitations

Due to the inherent danger associated with an active construction site, visitors to any site should be limited to those persons with official business relating to the construction activity, such as construction workers and tradesmen, building officials, security staff, LRDRB observers, sales personnel, and the Owner. Construction personnel should not invite or bring family members or friends, especially children, to the job site.

Section Fifteen:
Submittal Requirements

The Design Review process begins with an informal design/informational meeting with Members of the LRDRB and concludes with the completion of Construction. All stages of review will include submittal of improvement plans that will be carefully reviewed by the LRDRB to ensure compatibility with the Vision, Guidelines, and Design Intent of this development and is applicable for:

- Construction of all new buildings;
- Renovation or expansion of existing buildings;
- Major site and/or landscape improvements including pools, patios, water features, driveways, culverts, and site walls/fences.

The LRDRB will evaluate all submittals on the basis of these Guidelines. Various parts are written as broad standards and certain decisions affecting the outcome will be left up to the discretion of the LRDRB. Other Guidelines are absolute requirements such as Building Heights, Setbacks and others which may parallel Governing Regulatory Agencies or Building Code requirements and are therefore not subject to interpretation.

The Master Developer will retain competent assistance from at least one Architect, Landscape Architect, and Management Consultant. The makeup of the panel will be rotated on an as need basis.

The LRDRB and Architectural Committee will meet at regular intervals, or on an as need basis due to schedules or submittal overload.

The total fee charged to the developer for all reviews shall be \$1000.00 per unit plus a review fee of \$150.00 per acre for landscape design payable prior to the Pre-Design Conference. A compliance/cleanup deposit of \$1000.00 is also due at this time. Any construction after initial construction, i.e. patios, wall, pools, etc.. shall have additional plan review fees of \$150.00 and Compliance/clean up deposit of \$1,000.00 .

The LRDRB will make every effort to comply with the suggested time frames for review. However, they can not be liable for delays caused by circumstances beyond their control. The review schedule is as follows:

- **Pre-Design Conference** – 14 days from the receipt of the request form.
- **Preliminary Design Review** – application documents to be submitted 14 working days prior to next scheduled meeting of the LRDRB. If a meeting has not previously been scheduled, then the LRDRB will schedule a meeting after document submittal. Written comments will be provided within 7 working days from the date of the meeting. A second review may be necessary and will require a submittal 5 working days prior to the next scheduled meeting. An additional fee may apply.
- **Final Design Review** - application documents to be submitted 14 working days prior to next scheduled meeting of the LRDRB. If a meeting has not previously been scheduled, then the LRDRB will schedule a meeting after document submittal. Written comments will be provided within 7 working days from the date of the meeting. A second review may be necessary and will require a submittal 5 working days prior to the next scheduled meeting. An additional fee equal to 50% of the total fee will apply. If any subsequent submittals occur, a fee equal to 125% of the total fee will apply.

- **Building Permits** - the Owner applies to the City/County Building Department for all applicable Building and Use Permits after securing the Final Design Approval. Any City/County required adjustment affecting the approved design plans will have to be resubmitted for review by the panel prior to the start of construction. An additional fee may apply.
- **Construction Observation** – Periodic checks during construction will be made for compliance with approved documents. Notice to Comply will be issued within 3 days of observation of elements are found to change or alter the intent of approved design. Failure to observe non-complying installations does not relieve the Homeowner from complying or corrective measures.
- Upon completion of exterior home construction, required landscaping, sidewalk, driveway, walls and on-site cleanup, a written request must be made for final LRDRB inspection and approval. Following inspection, the LRDRB will determine compliance or issue a Notice of Non-compliance. Upon determination of compliance, the \$1,000 compliance/clean-up deposit will be refunded. If a Notice of Non-compliance is issued, 10 days will be given to correct the problems or the LRDRB will take action on non-compliance or arrange for the clean-up and the deposit will be forfeited. If clean-up costs are more than the deposit, the Owner or Owner's agent will be billed for the additional costs. If a request is not made for final LRDRB inspection and approval within 13 months from the start of construction, the deposit will be forfeited.

An application and information package is available from the association management agent for each submission. Each submittal must be accompanied by required information, as specified in the application package instructions and these Guidelines. The homesite Owner/Representative must be present at scheduled meetings to respond to questions or explain a submission.

Requested changes must be submitted in writing for review and approval prior to implementation.

The LRDRB recognizes that each Parcel has its own unique characteristics and each Owner their own needs and desires. For this reason, the LRDRB has the authority to approve variances based on what they would determine meritorious. The LRDRB at its own discretion has the right to waive any requirement not governed by applicable City & County regulations that the Owner has demonstrated that there is good cause and it affects are minimal on surrounding property Owner's, the Natural Environment, or the Design Intent of the Guidelines and the Development as a whole.

The Owner will notify the LRDRB of Notice of Completion at the appropriate time. The LRDRB will make a final on site inspection and review checklist for compliance within 14 working days of notification. Upon this completion of this observation, the LRDRB, within 7 working days, will issue a Notice of Completion or a Notice of Non-compliance with items that may not be in correct accordance with approved documents.

Pre-Design Conference

Prior to the submittal of any prepared materials/plans, the Owner is required to request a Pre-Design Conference and obtain a current copy of the Design Guidelines. The purpose of this conference is for the representatives of the LRDRB to review any questions or give guidance regarding the following:

- Particular characteristics or restrictions on this particular site or the development at large.
- Optimal Orientation of the building and outdoor spaces.
- Survey/Civil information.
- Clarifications of Guidelines or Directives.
- Review of Submittal Requirements
- Fees and Schedules.
- Informal review of proposed Design Concepts showing the overall Design Intent and understanding the contents of the Guidelines and utilization of the site and exterior Architectural Character.

Preliminary Design Review

After the Pre-Design Conference, the applicant shall submit a written application and appropriate fee for the Preliminary Design Review. Within this step, the Applicant shall submit a complete package adequately conveying existing site conditions, constraints, building orientation and design, vehicular access, guest parking, building heights, preliminary finished floor elevations, architectural character studies, colors and materials, and preliminary landscape/hardscape plans. All architectural plans are to be prepared by an LRDRB approved licensed Architect or designer and all Landscape Plans are to be prepared by an approved Landscape Architect or designer.

The package shall include two full-size sets and two sets of 11' x 17" reductions of the following drawings and/or materials:

- Preliminary Design Review Application Form and Fee. (8 1/2" x 11")
- Location Map - Illustration of Parcel within the development.
- Design Approach - Written description of the overall design approach and how it meets the intent of the Guidelines.
- Parcel Survey – Provided at minimum 1"=20', illustrating property boundaries site area, all easements of record, 100-year flood plain/404 limits one-foot contours, building envelope and any significant natural features to be accommodated.
- Site Plan - minimum 1" = 20' showing existing topography, proposed grading/drainage concepts, preliminary floor elevations, building footprint/roof plan, driveway locations, guest parking, walls/fences, patios, decks, pools, envelope modifications and any other site amenities.
- Schematic Floor Plans – minimum 1/8", including all proposed uses, area calculations (air conditioned and exterior covered areas) walls, doors, windows and mechanical and electrical service locations.
- Schematic Elevations – minimum 1/8", including building massing and heights, existing and finished grades, exterior colors and materials. Two sets of elevations, one to be in color.
- Schematic Roof Plans – minimum 1/8", including building heights, existing and finished grades, color, materials
- Conceptual Landscape Plans – See Landscape Submittal requirements page 38 - 45.

Final Design Review

After the Preliminary Design Review submittal, the applicant shall submit a final design document conforming to the approved preliminary plans and comments. All architectural plans are to be prepared by an approved licensed Architect or approved building designer. All landscape plans are to be prepared by a licensed Landscape Architect or approved landscape designer.. The package shall include two full-size sets and two sets of 11' x 17" reductions of the following drawings and/or materials:

- Final Design Review Application Form
- Site Plan - minimum 1' = 20' showing existing topography, final grading/drainage concepts, final floor elevations, building footprint, driveway locations, guest parking, walls/fences, patios, decks, pools, envelope modifications, area calculations and any other site amenities.
- Civil Plans – minimum 1' = 20', showing existing topography, finished grades, drainage elements and erosion control.
- Floor Plans – minimum 1/8", including all proposed uses, area calculations (air conditioned and exterior covered areas) walls, doors, windows and mechanical and electrical service locations. Final exterior light fixtures are to be provided at this time.
- Elevations – minimum 1/8", all building sides including building massing and heights, existing and finished grades, exterior colors and materials. Two sets of elevations, one to be in color.
- Landscape Plans – See Landscape Submittal requirements page 50-51.

An 11x17 Sample board shall be submitted with the following:

- Roof material and color
- Exterior materials and color
- Exterior trim and color
- Window material and frame color
- Exterior door material and color
- Stone/Rock Material, color and texture/pattern
- Fence/Wall material color
- Exterior Railings
- Hardscape/Driveway material and colors
- Mortar Color
- Garage door materials/color
- Shutters, Awnings, etc...

The LRDRB will review and comment on submitted materials, with Final Approval contingent upon field mock-ups to be reviewed in the field at the appropriate time in the construction process. The LRDRB reserves the right to require changes if in the opinion of the LRDRB, the objectives of the Design Guidelines are not met, or in-place construction does not match quality or color of the approved mock-ups and submittals.

The LRDRB may, upon written application, upon showing of good cause, hardship, or the need to modify, amend or supplement the matters under the control of the LRDRB, in manner consistent with the purpose and intent of these Architectural Guidelines and to further enhance the aesthetic values to be preserved hereby, may grant a variance from these requirements. Such variance shall be to the applicant and lot involved and not provide any precedent as to similar treatment to be accorded to any other applicant, Owner or Lot. The LRDRB shall make written findings of any variance, and specifically limit the variance to the particular lot involved. No future applicant for a variance may utilize or rely upon any previously granted variance. Granting of a variance for any particular lot shall not obligate the LRDRB or the Association to grant a similar variance for any other lot. The grant of such variance is at the sole and singular discretion of the LRDRB and no owner has any right, entitlement, or other claim to such variance.

Design Review Board

Address

The address of the Laughlin Ranch Design Review Board shall be the address established for giving notice to the Association, unless otherwise specified by the Board. Such address shall be the place for the submittal of plans and specifications, and the place where the current Design Guidelines shall be kept.

The present address for the Design Review Board:

Laughlin Ranch Design Review Board
c/o D & E Management
3900 Frontage Road
Suite 1
Bullhead City, Arizona 86442

Resignation of Members

Any member of the Laughlin Ranch Design Review Board may, at any time, resign from the Design Review Board upon written notice delivered to the Declarant.

Duties

It shall be the duty of the Design Review Board to consider and act upon such proposals or plans related to the development of Laughlin Ranch that are submitted pursuant to this Design Guidelines to enforce the Design Guidelines, and to amend this Design Guidelines when, and in a manner deemed appropriate by, the Laughlin Ranch Design Review Board.

Meetings

The Laughlin Ranch Design Review Board shall keep on file all submittals and copies of all written responses to Owners to serve as record of all actions taken.

Compensation

Unless authorized by the Association, the members of the Laughlin Ranch Design Review Board shall not receive any compensation for services rendered.

The Design Review Board does not have the authority to spend association funds. Therefore, professional consultants and representatives of the Design Review Board retained for assistance in the review process shall be paid such compensation as the Declarant or Board of Directors determines.

Amendment of Design Guidelines

The Laughlin Ranch Design Review Board may, from time to time and at its sole discretion, amend or revise any portion of the Design Guidelines upon approval of the Declarant. All such amendments or revisions shall be appended to and made a part of the Design Guidelines. Administrative changes may be made in like manner by the Design Review Board; the Design Review Board for consideration by the Board of Directors of the Owner's Association may recommend changes of a substantial nature and upon approval of the Declarant.

Non-Liability

Neither the Design Review Board, any member thereof, nor the developer, shall be liable to the Association or to any Owner or other person for any loss or damage claimed on account of any of the following:

- The approval or disapproval of any plans, drawing and specifications, whether or not defective.
- The construction or performance of any work, whether or not pursuant to approved plans, drawings, and specifications regardless of any inspections by the Design Review Board during the course of construction.
- The development, or manner of development of any property within Laughlin Ranch.

Every Owner or other person, by submission of plans and specifications to the Laughlin Ranch Design Review Board for approval, agrees that he will not bring any action or suit against the Design Review Board management agent, any of its members, nor the developer, regarding any action taken by the Design Review Board.

Approval by the Design Review Board of any improvement at Laughlin Ranch only refers to the Laughlin Ranch Design Guidelines and in no way implies conformance with local government regulations. It shall be the sole responsibility of the Owner to comply with all applicable government ordinances or regulations, including but not limited to zoning ordinances and local building codes.

Enforcement

The Laughlin Ranch Design Review Board may, at any time, inspect a home site or improvement and, upon discovering a non-compliance of this Design Guidelines, provide a written notice of non-compliance to the Owner, including a reasonable time limit within which to correct the non-compliance. The Design Review Board may also record a notice of non-compliance after the expirations of the time limit. If an Owner fails to comply within this time period, the Design Review Board or its authorized agents may enter the home site and correct the non-compliance at the expense of the Owner of such home site; said expense to be secured by a lien upon such home site for the amount claimed enforceable in accordance with the Declaration.

In the event of any non-compliance of this Design Guidelines, the Laughlin Ranch Design Review Board may, at its sole discretion and in addition to restoration expenses, impose without limitation a punitive fine, commensurate with the severity of the non-compliance. In the event the Design Review Board deems it necessary to retain legal counsel in connection with the enforcement of this Design Guidelines, the Owner against whom such enforcement is sought shall be liable for all legal fees and other out-of-pocket expenses incurred by the Design Review Board in enforcing the Design Guidelines.

Severability

If any provision of the Design Guidelines, or any section, clause, sentence, phrase or word, or the application thereof in any circumstance, is held invalid, or unenforceable, the validity of the remainder of this Design Guidelines, and of the application of any such provision, section, sentence, clause, phrase or word in any other circumstances, shall not be affected thereby, and the remainder of the Design Guidelines shall be construed as if such invalid or unenforceable part were never included therein.

Delegation of Authority

The Laughlin Ranch Design Review Board may delegate one of its members to inspect the home for consistency with the submittal.

Covenants, Conditions, and Restrictions

These Design Guidelines are promulgated pursuant to the terms and conditions of the Declaration of Covenants, Conditions, and Restrictions for Laughlin Ranch. However, in the event of any inconsistency between the provisions of this Design Guidelines and the provisions of such Declaration, the provisions of the Covenants, Conditions and Restrictions shall apply.

Community Wall Description



Laughlin Ranch Community Wall Detail

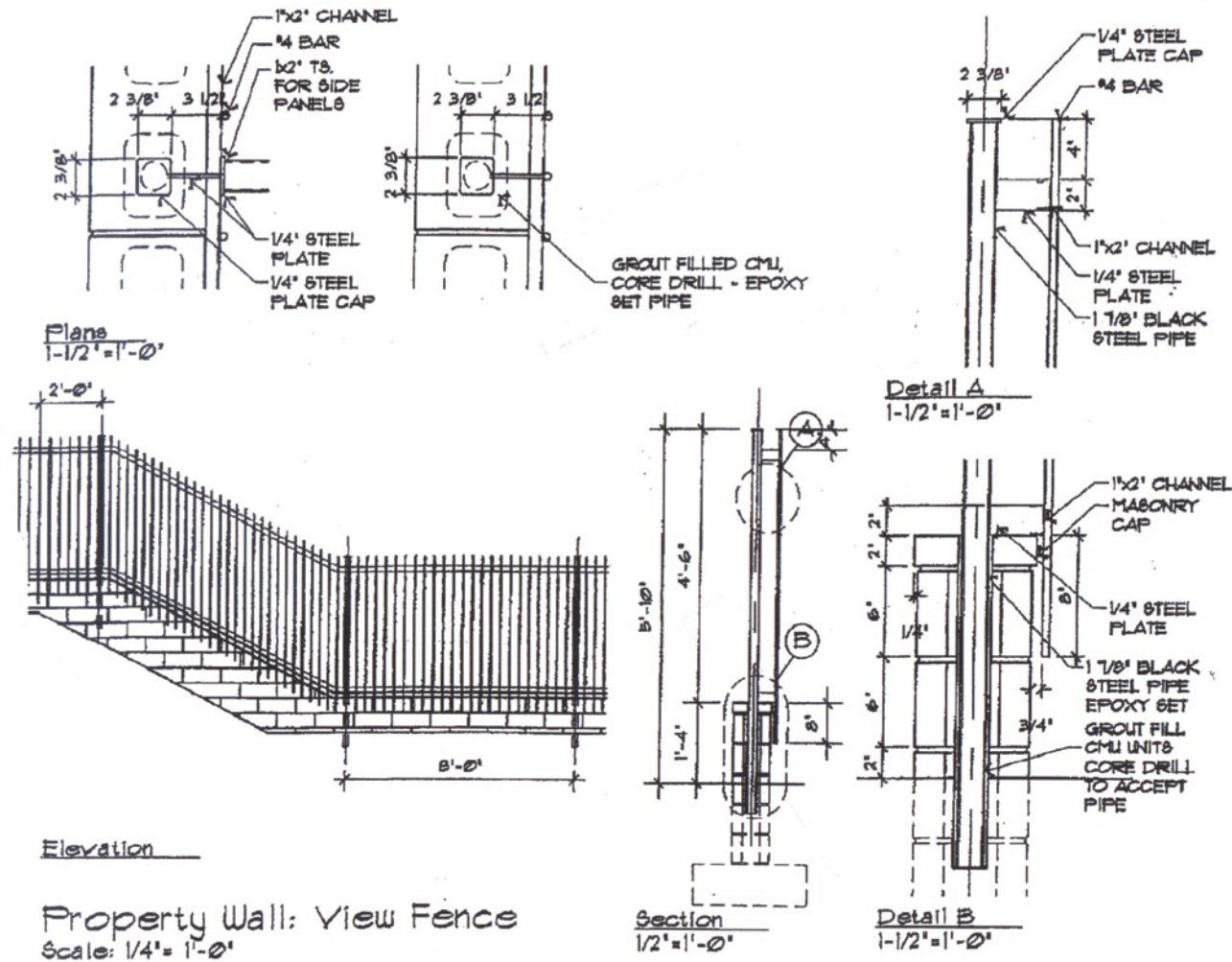


Laughlin Ranch Community Wall

Laughlin Ranch as a standard community wall that may border some lots. This wall is 6'-8" from the footing to the top of the wall, actual height from grade to top approximately 6'-4" (13 courses of block and cap). Footing 16" x 12" with 1 #4 rebar continuous and 1 #4 rebar 48" on center grouted. This will help prevent cracking, although there is no guarantee against cracking. Expansion joints will be installed at 24' on center.

The wall will have a mortar finish, using the extra mortar from the head joint and bed joint and spreading onto the exterior of the block wall. Over the course of time, the climate will change the look and finish of the wall. All mortar used will be a Superlite premix to ensure consistency in color. The wall will angle with grade changes and not step down.

The wall will be 26" from footing to top of wall and a 60" iron fence to extend through the outside of wall and overlap 8" from top of wall downward. Logo to face the outside of the fence, 2 pickets will be cut and the post will be trimmed to accentuate the logo. Footing will be 16"x12" with 1 #5 24" on center to increase the strength and wall will be solid grouted with a course of durawall in place below the top course.



Section Sixteen:
*Color Palette
and Submittal Form*

Approved Color Palette

1A- E50	SW7039	(VIRTUAL TAUPE)
2A- E36	SW7025	(BACKDROP)
3A- FN47	SW6046	(SWING BROWN)
4A- FN19	SW6018	(ENIGMA)
5A- FN272	SW6271	(EXPRESSIVE PLUM)
6A- B-G/B/163	SW6536	(SEARCHING BLUE)
7A- FN208	SW6207	(RETREAT)
8A- FN187	SW6186	(DRIED THYME)
9A- FN159	SW6158	(SAWDUST)
1B- FN5	SW6004	(MINK)
2B- E70	SW7059	(UNUSUAL GRAY)
3B- FN257	SW6256	(SERIOUS GRAY)
4B- E63	SW7052	(GRAY AREA)
5B- FN179	SW6178	(CLARY SAGE)
6B- EPP/37	SW2845	(BUNGLEHOUSE GRAY)

**All colors are coded to the Sherwin-Williams Paint Color Palette.*



DEEP ACCENTS

BODY COLORS

NOTE: Drawn from site and setting, preliminary color samples may vary by printer. Actual color palette will be expanded, calibrated to manufactured paints, and further coordinated into color scheme combinations.

5/06/04