

*Commercial Design Guidelines*

rev. 03-29-05

**LAUGHLIN RANCH**

A MASTER PLANNED GOLF COMMUNITY

Laughlin Ranch is a distinctive community defined by artfulness and beauty. The site, which has extraordinary views and beautiful landscape, is the perfect setting for the harmonious convergence of these ideals.

The guidelines reflect various architecture styles that will create a timeless community with historical relevance and appropriateness. It takes our Valued Homeowners and Merchants to create such a community. Herein lies the vision of these guidelines.

The creators of Laughlin Ranch would like to extend our appreciation to the Valued Homeowners for their interest in helping carry out this vision. We look forward to working with you to and become an instrumental part of this community.

Sincerely,

*The Laughlin Ranch Design Team*

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# LAUGHLIN RANCH

A MASTER PLANNED GOLF COMMUNITY

# Section One: *Introduction and Design Philosophy*

**Community.** It's a word that invokes feelings of being at home, neighbors, friends and a return to humanity. It's a feeling of being safe walking down the street, saying hello to local a storeowner by name and meeting friends at the park. Laughlin Ranch is envisioned to create this sense of community through quality planning, design excellence and the natural surroundings. To the east, one can see beautiful sunrises creeping over the mountains. To the west, the twinkling lights of casinos make the nighttime sky just as spectacular. Deep canyons, rolling dunes and large, natural washes are found throughout the site and lend themselves to the creation of distinct neighborhoods and the allowance of a wide network of paths and trails. These neighborhoods are intended to incorporate a diversity of architectural styles, which will produce a timeless feel, and a definite sense of place; a feeling of being at home in your community. Laughlin Ranch is your new hometown, with activities for everyone. With over Sixty miles of paths and trails planned every resident can get anywhere they need to in the community including access to the Colorado River. Walk or ride your bike to the coffee shop on the corner. Stop in to the deli for a quick snack. Take a dip at one of the community pools after an enjoyable round of golf on a Championship Golf Course. It's all here for you and it's all within reach.

The Southwest is rich in history. From the Native Americans that first inhabited these parts, to the mining towns that looked to find valuable ore, even the emergence of Don Laughlin's vision that can be seen today along the Colorado River. Today, Laughlin Ranch begins its quest to be a part of that history. Along with the fabulous timeline of this area, comes great architecture. The physical appearance of the indigenous ranch architecture of the Southwest was not so much a quest for style but a response to the climate, functional lifestyles, and utilization of available building materials and craftsman. People still look at these gems with awe and wonder as they have stood the test of time and the elements. Laughlin Ranch is no different. It is the intention of Laughlin Ranch to remember and respect why this architecture is so beautiful. Although a diversity of architectural styles are allowable, integrity and respect for the land and the highest quality construction is expected from every owner, architect and builder. From the Hacienda style to the Pueblo style and even desert respective contemporary homes, a woven fabric of diversity will be created to help foster a sense of community that you, your neighbor and the whole community can take pride in. Because the terrain of Laughlin Ranch is varied, diversity in architecture is almost given. Some styles may work well on flat sites to create stunning estates. While other styles may lend themselves to beautiful hillside villas.

**Design Guidelines** are intended to establish and maintain common goals for the entire Laughlin Ranch community, while taking into account your personal preferences and needs. All too often design guidelines become too strict and do not allow for personal expressions. In the end, sameness is created and the special feeling of place is lost. Although the Laughlin Ranch Design Review Board (LRDRB) will be strict with regards to quality and integrity, it will also be flexible with regards to creativity. These guidelines and the LRDRB decisions are not intended to be a "what not to do", but rather an execution of principles that will create an artful community. Ultimately, the LRDRB has the discretion to accept, reject and provide input on every design brought in for review and ultimately approval.

Laughlin Ranch Design Review Board (LRDRB) has been established to help you and the rest of the community create a wonderful place to live, work, or play and to ensure that goal is of the highest priority. Because the vision to view the entire community as a large-scale work of art, rather than several individual works of art, the LRDRB's decisions will include discretionary judgments. The LRDRB will also grant variances from any prescribed requirements in this book to allow for creativity of the architect and owner, if

it strives to add to the community overall. If there is ever a conflict between any Bullhead City ordinance standards and the Guidelines as described here, the most restrictive provisions shall be deemed controlling. Should you have any questions or comments, please feel free to contact the LRDRB at 928-758-9999.







*View looking east from Laughlin Ranch*

## Section Two: *Green Building*

### Why Green Building?

The act of building has a significant effect on our regional and global environments. In the process of building, resources are consumed, natural habitats are altered and the ecological systems that support life are affected. This has been the case for thousands of years, but as the world's population and patterns of consumption have increased, the impacts have become more critical. There are growing initiatives to reduce the environmental impact of building. New materials are being introduced that use resources more efficiently and wisely. Energy efficiency and indoor air quality are playing a greater role in the construction of healthy and comfortable buildings, and efforts are underway to reduce water consumption and the inordinate amount of waste generated during construction. By designing for energy, water, and resource efficiency, buildings improve in performance with enhanced comfort and lower operating costs. With Green Building, we can satisfy all of our building improvement needs, conserve limited resources, and protect our natural environment for the long-term health of our planet and future generations.

### Requirements For Green Building

All improvements in Laughlin Ranch will be developed using Green Building principles. To enforce this objective, all buildings will require certification for compliance. Laughlin Ranch has formed the Laughlin Ranch Sustainable Development Council (LRSDC), which has established the criteria for certification. The application for certification is required with the Design Review Submittal. LRDRB will provide required checklist and/or evaluation criteria at the pre-design conference or earlier if requested.

### Protect And Enhance The Site

The Mohave desert is one of the most unique deserts in the world embodying a diverse ecosystem of flora and fauna.

- Protect ecologically sensitive land and indigenous plants.
- Minimize size of development footprint
- Integrate building with site topography and optimize indoor/outdoor transitions for outdoor living (i.e. courtyards, porches, canopies, etc.)
- Avoid chemical herbicides, pesticides, and other ground treatments with toxic or hazardous constituents.

## Enhance Energy Efficiency

Decisions made during the design and construction of a building will affect environmental performance for decades to come. An integrated design approach can result in energy savings through the proper utilization of windows, lighting, mechanical systems and active/passive solar systems.

- Incorporate passive solar design strategies. Orient and zone building and interior spaces for seasonal benefits (reduce energy load and maximize comfort).
- Use a well insulated building envelope with internal thermal mass.
- Install high-performance low-e windows.
- Locate windows for natural light and cross ventilation; use external shading devices for unwanted heat gain.
- Seal and insulate ducts; locate within air conditioned spaces where possible.
- Select energy efficient heating/cooling equipment (min. SEER 12), lighting (fluorescents & halogens), and appliances.
- Consider active solar systems (i.e.- water heating and photovoltaic/solar electric).

## Use Environmentally-responsible Materials

Most of the environmental impacts associated with building materials have occurred prior to their installation. Raw materials are extracted from the ground or harvested from forests; pollutants are emitted during manufacturing; and energy is consumed throughout production. Some materials, such as those containing ozone-depleting HCFCs and VOCs, continue emitting pollutants during use and /or have significant environmental impacts associated with their disposal. Resource-efficient materials are designed to have minimum impact on the health of our environment and ourselves.

- Select materials that are durable and appropriate for our desert climate (won't degrade in sun/dryness).
- Select products and materials of local manufactures to limit embodied energy and support local economies.
- Select materials with recyclable and recycled content (reclamation and reuse of existing materials).
- Select materials with low embodied energy (energy used in resource extraction, manufacturing & shipping).

- Avoid materials that unduly deplete limited natural resources, such as lumber from old-growth forests.
- Avoid materials made from toxic or hazardous constituents (benzene, arsenic, formaldehyde, etc.).
- Avoid materials that generate pollution during manufacturing or use.

## Create A Safe Indoor Air Environment

Research indicates that air pollutant levels in our homes and offices can be four to five times higher than the air outside. Since people spend 80 to 90 percent of their time indoors, the quality of indoor air has become a major concern. Health effects from exposure to indoor air pollutants range from short-term health effects (sneezing, itchy eyes, headaches, dizziness), to more serious long-term effects such as respiratory disorders. A healthy indoor environment can be achieved through proper ventilation and selection of non-toxic materials.

- Avoid materials and finishes with high VOC (volatile organic compound) such as particle boards, some carpets, adhesives, and paints (use materials with less than 250 grams/liter VOC).
- Provide for ventilation in all occupied areas of the building.
- Maximize control of the indoor environment with features like operable windows, task lighting and zoned temperature controls.

## Provide For Efficient Water Use

In the desert, the environment imposes a natural mandate on how we should build in order to manage water. The depletion of groundwater is an especially critical issue of concern in Arizona. The State Department of Water Resources has implemented water management strategies to address this regional problem. One way to conserve water is to incorporate water management strategies into building and site design.

- Use low-flow plumbing fixtures (i.e. dual flush toilets) and water efficient appliances (i.e. horizontal axis washing machines).
- Incorporate an efficient hot water delivery system (i.e. tankless, recirculating, centrally located of water heater).

- Provide or convert to desert responsible landscaping (xeriscape).
- Consider graywater usage, which takes the waste water from such locations as bathroom sinks, showers, bathtubs and laundry rooms, and uses it for landscape irrigation.
- Collect and/or direct rainwater for irrigation.

## Reduce Generation Of Solid Waste

Construction debris constitutes a major portion of the material destined for landfills. Reduction of construction debris is one of the most frequently overlooked areas for resource conservation. According to the Center for Resourceful Building Technology, the building of a typical single-family home produces an average of four to six tons of waste per building site. Wood, drywall, metal, rubble and cardboard comprise the majority of recyclable construction and demolition wastes.

- Sort construction and demolition waste for recycling (job site bins for wood, metals, wallboard, etc.).
- Purchase building material in required dimensions to minimize waste.
- Reuse as many discarded materials as possible in the building process.
- Donate reusable materials to local non-profit building supply companies or other community groups where they can be used to build or improve housing stock.

## Section Three

### *Branding*

As Laughlin Ranch develops, it will continue to evolve as a unique community with its own identity. The identity will be represented by appropriate use of regional materials, vegetation and building forms.

This emerging character is established in four specific design elements. Landscape guidelines, stone or Laughlin Ranch community wall block, iron detailing and brick pavement installations.

As more projects are developed, the installation of these brand elements will be less of an ornamental enhancement and more of a complimentary design element, natural to the completion of the design.

Brand elements are not intended to dictate design, however the characteristics of the brand elements will maintain architecture complimentary to the Laughlin Ranch story.

As neighborhoods, parks, shops, businesses, streets and paths are experienced, there will be a subtle and pleasant familiarity from one to the next, leaving a favorable impression of contributing to a special place.

#### 1. Improvements between street and closest wall of structure

- a. Landscaping:
  - Street tree
  - Decomposed granite
  - Plants and shrubs and additional trees
- b. Driveway Paving:
  - Brick pavers
- c. Vertical Improvements:
  - Stone
  - Iron

#### 2. Variation

No two structures in a given neighborhood may install the same combination of vertical improvements. Exceptions may be accepted by the LRDRB.

**Landscaping:**

Desert sensitive and native landscaping is a primary influence in neighborhood character. An entire section of the Design Guidelines has been dedicated to landscaping.

In addition to establishing an “approved plant list” to guide this design element, the Laughlin Ranch brand is re-enforced base on the following prescribed characteristics:

- Decomposed granite groundcover is to be one of four regional varieties.
- Theme street trees, accent trees and theme shrubs have been established to provide shade and direct attention away from streets and structures. Four different varieties of street trees, accent trees and theme shrubs have been established.

Refer to “Landscape Design” section of the guidelines for applicable information.

**Driveways, walks and Paths:**

To promote pedestrian activity, de-emphasis vehicular presence and establish an informal environment, installation of brick pavers is required for a variety of applications. Applications endeavor to define walking routes within and through each development and to break up large masses of parking areas.

Refer to Parking, Driveway and Pathway headings in the “Site Design” section of these guidelines.

**Vertical improvements:**

**Stone or Laughlin Ranch block and Ornamental Ironwork.**

Every development is to contain a modest amount of stone (two varieties have been established) or Laughlin Ranch block, and a modest amount of ornamental ironwork. The application of these materials is not prescriptive due to the wide range of Development types and sizes contained within these guidelines. The intent is to establish a “Subtle Familiarity” throughout Laughlin Ranch.

Each Designer is to apply these design features at their own discretion and in a method that is complimentary to the unique design of each development. The LRDRB will approve designs based on achieving the desired outcome described above.

Examples of acceptable stone, block and ironwork installations include:

**Stone or Laughlin Ranch block:**

- Wainscott building wall veneer
- Individual wall masses
- Feature masses (chimneys, portals, columns, etc.)
- Site walls, fences, bollards, signage

**Ornamental Ironwork:**

- Entry gates
- Window detailing
- Light fixtures
- Fence walls
- Ornamentation (column detailing, door detailing, signage, etc)

Mock up installations of the approved stone and Laughlin Ranch block are available for review in the sample yard.



Figure 8



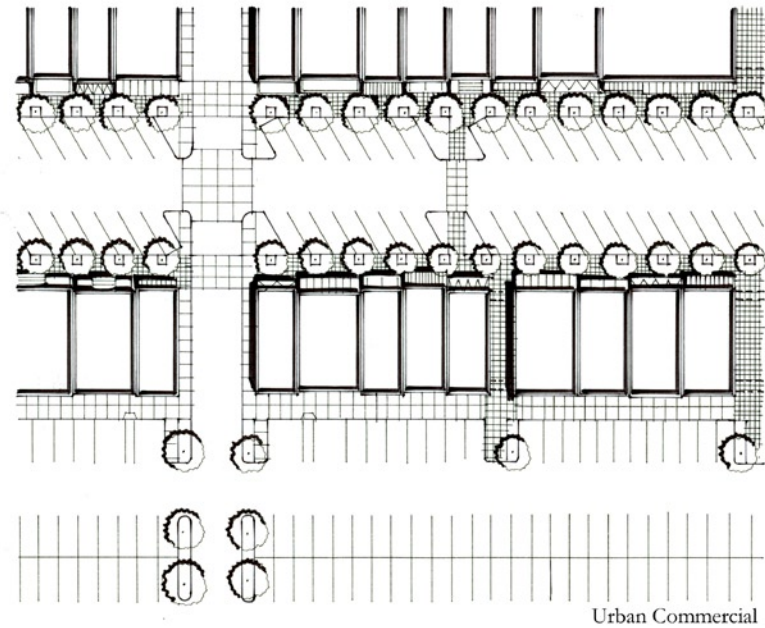
## Section Four: *Site Design*

With its beautiful mountains as a backdrop, and its extraordinary views to the Colorado River and the casinos that provide beautiful nighttime sights, Laughlin Ranch is a site that is unique to this area. But that's not all. At the ground level, Variations in elevations of the terrain, large natural washes and deep canyons that provide almost Mystical experiences create the opportunities for homes and neighborhoods to be unique to every site. With all of these natural benefits, the architecture should make sure to consider topography, Solar Angles, wind direction, vegetation and views. When a designer takes all of this into consideration, a property owner can have comfortable exterior living spaces, lower heating and cooling costs and above all a beautiful home that will stand the test of time. Along with the natural wonders, there are several elements that are incorporated into the entire community that need to be considered. Laughlin Ranch has several parks, natural areas for open space and over Sixty miles of paths and trails. The same considerations and details must be given to these amenities, especially those homes that are adjacent to them. Because the experience of walking down a path should be equally enjoyable as sitting on a patio watching the sunset.



### Urban Commercial:

Evoking the type of design and development similar to “Main Street USA.” Characteristics include reduced setbacks along the street. Sideyards are eliminated to allow continuous rows of buildings. Street furniture and landscape palette is prescribed to enhance the cohesive assembly of various architectural styles and building sizes.



### Purpose:

Provide neighborhood scale pedestrian friendly retail, office, lodging, residential and civic opportunities.. Vibrant mixed use environments providing residents and guests with places to live, work, shop, dine and gather for community functions and events contributing to the quality and economic viability of Laughlin Ranch. Loft housing and residential over store front would also compliment this district.

### Neighborhood Commercial:

Promoting lower density, site sensitive development, this district has a greater focus on privacy and individual identity. Deep landscaped setbacks, screened parking and enhanced landscaping palette are characteristics of this district. Resort developments, garden offices, medical offices and destination restaurants are examples that benefit from the type of district.

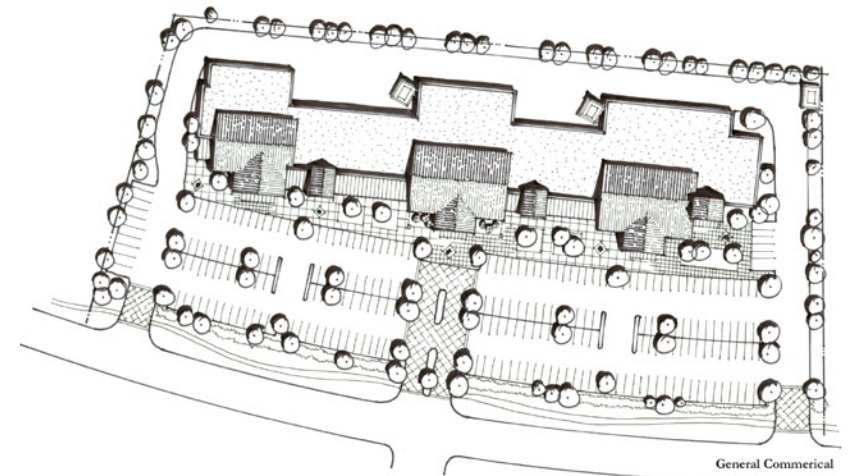


### Purpose:

Provide lower density environment for professional offices, destination restaurants, medical campuses resorts and similar developments of a residential scale. Live/work developments would also compliment this district.

### General Commercial:

Larger centralized traditional commercial developments, such as major grocery stores and parking. Intense retail “centers” apply to the criteria of this district. Design focus is based on conforming to retailer’s prototypical development criteria, while maintaining the characteristics and appeal that represent Laughlin Ranch.

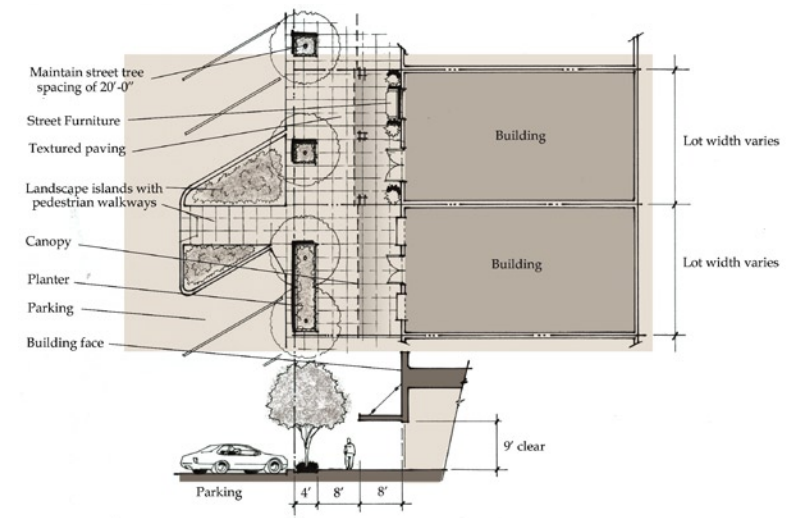


### Purpose:

Provide well designed shopping and office facilities to accommodate prototypical building and design standards. The Criteria contained herein is applicable based on the district the subject site is located.

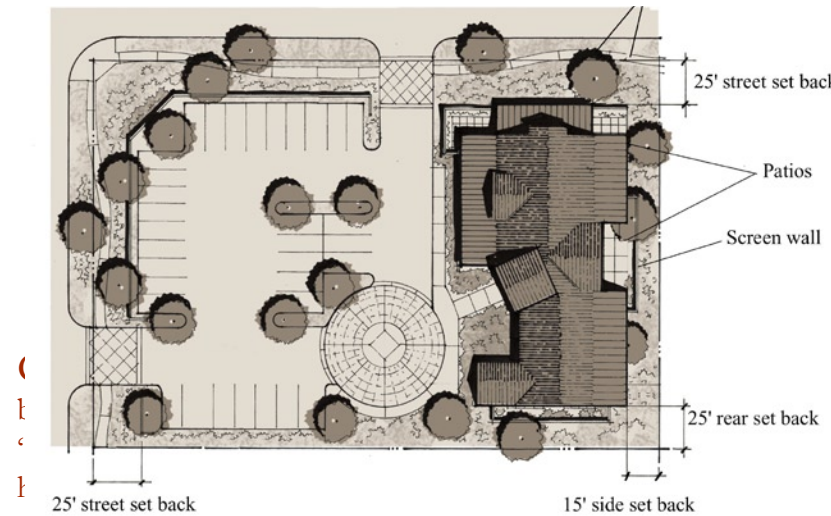
### Parking Concept:

Urban Commercial buildings establish a continuous row of adjacent buildings. The following illustration describes the setbacks established to accommodate this: A row of street parking is provided adjacent to the building frontage and additional parking is located “around back”



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**Neighborhood Commercial.** Parking located between building and the street cannot occur within the front yard or street side yard. Improvement to front yard are limited to landscaping, low screen walls (30” max above finished grade) and community paths/trails as illustrated below:



**Front yard setbacks** are designed to increase the natural desert feeling along the street. On each parcel, there will be front yard setbacks that, along an entire street, vary to create the feeling that Laughlin Ranch is designed as a part of the natural landscape rather than ignoring it. This setback still allows the property owner to have landscape to their satisfaction, but ties the neighborhood together. The urban commercial district has no rear or side setbacks and the front is limited to space for a shaded and landscaped entry experience along a “main street” of similar shops. See Density Chart for setbacks.

## Density Chart:

District	Building Height	Minimum Setbacks				Lot Coverage	Distance Between Buildings
		Front	Side	Street Side	Rear		
Urban Commercial	2 Story / 25' [a,e]	20'	0* [c]	0*	0*	100%	Per UBC
Neighborhood Commercial	2 Story / 30' [b]	25'	15' [c]	25'	25'	25% [d]	Per UBC
General Commercial	3 Story / 35' [b]	25'	0* [c]	10' c	0* c	50% [d]	Per UBC

\* Subject of approval of PAD (pending) due to variance from Bullhead City Zoning Restrictions

- Building height is measured from lowest adjacent finished grade.
- Building height is measured above lowest adjacent natural grade or finished grade, whichever is lowest.
- Adjacent to residential zone, setback is 25', or height of building, whichever is greater.
- Lot coverage is defined as the area of land covered by a building, as a percentage of the total lot area. Up to 4' of roof “overhang” depth can be deducted from the first floor covered area.
- Towers, spires and other Architectural features intended to enhance the design may be constructed to a height of 35', subject to the review and approval of LRDRB.

**Building Height .** Where grade allows a lower level walk-out and the entry level facing the “front” street side to be located at natural grade, an additional sub-street level story is permitted, provided adjacent developments are not adversely affected. See density chart for building heights permitted. This provision is subject to PAD (pending) due to variance from Bullhead City Zoning Restrictions.

**Building envelopes** are meant to preserve significant vegetation and prominent landforms and occur on a limited number of parcels. Building envelopes do not occur on urban commercial parcels or pregraded sites. Due to the intensity of general commercial, the zoning setbacks will act as the limits of a “building envelope” except for disturbance as otherwise allowed. Responsibility in site design should be of equal importance on pregraded sites as they are on native lots. Context, views, streetscape and client desires should interact harmoniously to create the artful community that LaughlinRanch envisions.

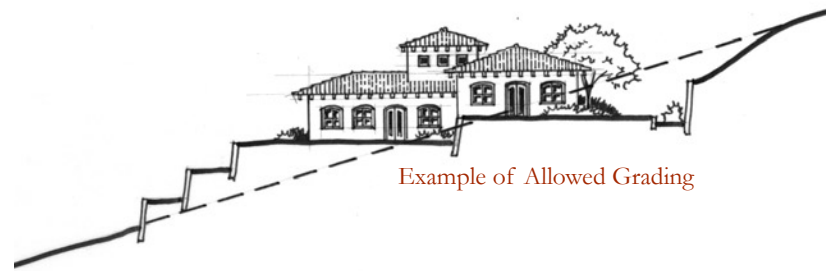
**Grading** is a sensitive issue within Laughlin Ranch. Because of the desire to maintain an undisturbed look and feel to the community, designers will need to be creative with their site grading either with retaining walls or terracing to minimize grading. Grading illustration is located on the following page.

- On less sloped sites (10% and under), efforts by the designer should be made to have any grading appear as **natural** as possible.
- On more sloped sites (over 10%), architectural styles that lend themselves to more narrow compositions should be utilized. This will help with minimizing grading and/or terraced retaining walls.
- Rooflines should follow grade transitions to help break up large masses and avoid exceeding height limit restrictions.
- Avoid any drastic grade changes greater than 4:1.
- Excessive excavation or fill will not be permitted on any site.

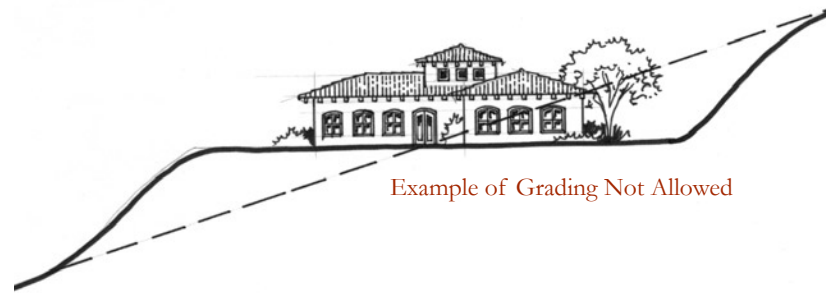
**Drainage** ways that occur within a lot should be returned to a natural look condition to preserve an undisturbed look and feel to the community. Also, the lot owner shall not introduce any new flow to the adjacent properties.

- All drainage ways should maintain historical flow where possible. In the event of a disturbance, the flow must exit the site from its historical location.
- The use of river rock will not be allowed for drainage ways off the site or for non-functional, aesthetic drainages.





Example of Allowed Grading



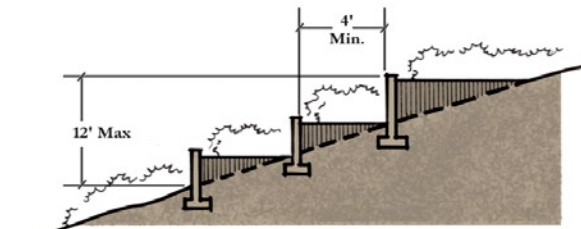
Example of Grading Not Allowed

**Walls and Fences:** walls shall be designed to compliment the architectural design and materials of the building. Chain link fences are prohibited, and wooden fences are prohibited, unless approved by the LRDRB.

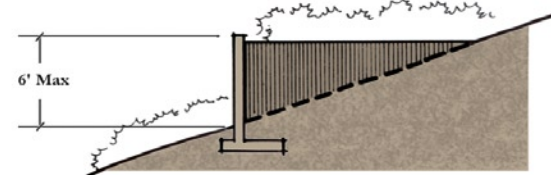
- All site walls and fences must be approved by the LRDRB and use approved materials and colors.
- Maintain consistent top of wall elevations for multiple retaining walls.
- Walls shall not step down, but rather be designed to blend in with the natural topography of the site.
- All finishes on walls and fences must continue down to finish grade.
- Retaining walls shall not exceed Six Feet. However, walls that are higher (up to Eight Feet) may be approved by the LRDRB if the disturbance is less than terracing of the walls. Terraced retaining walls cannot exceed Twelve Feet above natural grade.

- Where multiple retaining walls occur, each terrace must be separated by a horizontal planting area equal to or greater than height of retaining wall and not less than 4 feet, unless

**Mechanical Equipment** is a necessary part of every building. It is the intention of Laughlin Ranch to minimize the



Terraced Wall Section  
4' Minimum Width  
12' Maximum Height



Single Retaining Wall Section  
6' Maximum Height

visual and audible impact these necessities have on the community. Therefore, great care should be given as to placement and screening from all properties. It should be assumed that this equipment would not be visible from anywhere in the community.

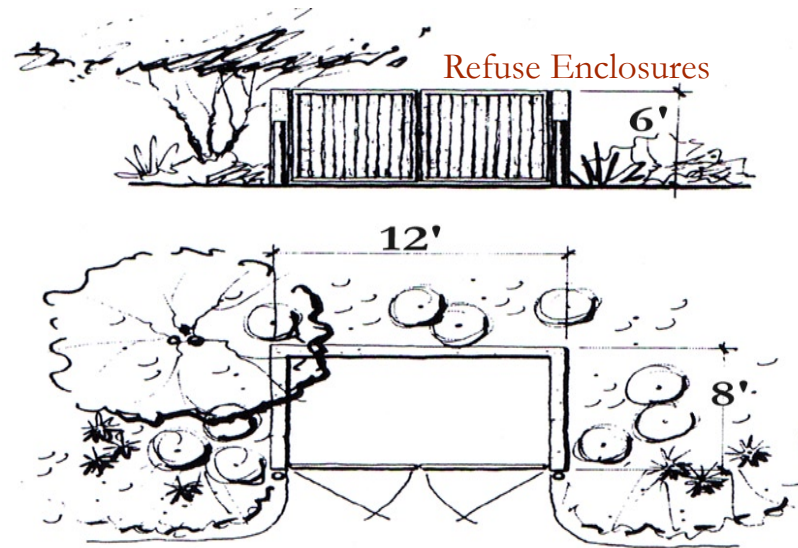
- If a wall is used to screen the mechanical equipment the wall should extend 12" above the height of the tallest equipment.
- Whenever possible, in addition to walls, the use of trees, as approved by the LRDRB, should be used to screen the mechanical equipment.
- Electrical meters, satellite dishes, television and radio antennas should be screened from the street, golf course, open space adjacent properties. Contact the local utility companies or

access requirements.

- Any rooftop projections such as vents, gutters, etc. shall be designed to compliment the architecture of the building.



Refuse Enclosures shall be screened with 6' high solid wall and fully screened gates complimentary to building design and materials.



Address and Identification should be visible from the street and should be designed in such a way that it appears to be of the same community theme. See font style and material illustrated below. Painted numbers on curbs will not be permitted.



Approved Address Numbers  
Available at "Restoration Hardware"  
Item # "Misson Style" standard 5-inch lettering

Flagpoles, flags, and banners one American and/or Arizona Flag, maximum size 3' x 5' is permitted on each property. Maximum pole height of 20'. Additional flags, and/or larger/taller sizes may be allowed, if appropriate and approved by LRDRB. Banners are prohibited except temporary banners as approved by LRDRB for special events. If multiple banners are used for an event, these banners shall have a coordinated design. In addition to City and/or County permits these banners require approval of LRDRB and shall indicate the length of time banners are to remain exhibited.



### Community Path and Trail Network:

Laughlin Ranch has established a community wide system of paths and trails allowing access throughout the community. Each commercial parcel will provide a path for public use promoting the overall path and trail network. Established location, materials, and path/trail width shall be per the established Laughlin Ranch Master Design Criteria. Urban commercial path is achieved with front yard store front paving.

### Paving:

Urban commercial paving at frontyard is to be brick pavers. Pavers to be per the established Laughlin Ranch Master Design Criteria. Color and finish to be continuous from store front to store front the entire length of the street.

Street access driveways are to include a band of accent pavers. Pavers are to be per the established Laughlin Ranch Master design criteria.

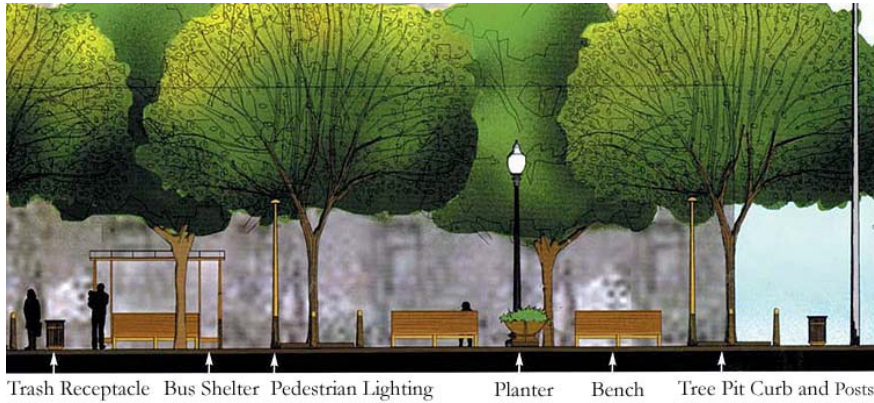
Locate pavers a minimum width of 16', starting at the adjacent right of way and extending into the site. Configure accent band to accommodate adjacent path and trail crossings.

### Street Furniture:

Urban commercial streetscape will include unified materials and design characteristic that allow individuality while creating a "theme" of continuity and identity.

The streetscape theme element will be simple Old Arizona character, consisting of natural occurring materials. Individual businesses are encouraged to provide street furniture promoting this theme. Streetscape elements include:

- Benches, tables, chairs
- Planters, pots, window boxes
- Iron railings, light fixtures, gates and ornamentation
- Heavy timber ornamentation



### Outdoor Storage:

Outdoor storage is prohibited unless contained within a fully enclosed structure designed to compliment the building design and materials.

### Materials:

Elevations shall use masonry stone, stucco, rusted or painted steel, wooden beams (6" wide min.)/columns (8" x 8" min) concrete or clay tile. Elevations shall utilize more than one material except side elevation "common walls." Common walls which will not have an adjacent building constructed within 6 months are required to be finished with stucco and painted for a finished appearance complimenting the front elevation. No mirrored glass is permitted.

**Satellite dishes, antennas, and Communication Facilities:**  
All Wireless Communication Facilities shall consist of stealth applications to ensure antennas, conduit/cabling, and associated equipment are not visible to the public.

No monopoles or towers are permitted in any zoning district without LRDRB and municipal approval.

**Antennae and Satellite Receivers.** Satellite dishes, television and aerials or antennas shall be installed with sensitivity to screening from the road, adjacent homesites, golf course, or public areas. When a screen wall is provided, the screen wall is subject to Architectural Review approval and must be an integral component of the building design. In some cases, the enclosure may not be approved due to the location on the homesite and its visual effect on the overall street scene or as viewed from adjacent homesites, common areas, or the golf course. Umbrella covers over satellite dishes are prohibited.

Wireless Communication Facilities that are not in use for (6) or more months shall be removed by the service provider or property owner. This removal shall occur within ninety (90) days of the end of the such six-month period.

### Colors:

Section 15 pertains to the approved color palette of Laughlin Ranch. This section is on page 62 and 64 of this document. Alternative colors complimentary to the approved colors may be used if approved by LRDRB. All colors are to have a light reflectance value (LRV) of 41 or less.

## Section Five: *Project Lighting Standards*

**Lighting** can create the feeling of different environments within the same site. Because of the beautiful night time sky, lighting is limited to particular types and wattages. The intent to make each site a subtle environment from the street, the neighbors and the community, rather than focal points.

- Lighting should not line driveways, sidewalks and paths to help prevent a “runway” type feel and look to the landscape and site.
- No “malibu” lights shall be permitted.
- No colored or fluorescent lights shall be permitted.
- Landscape and path lighting shall be minimal and used primarily for safety reasons.
- All lighting should be architecturally integrated into structures. All security lighting shall be motion activated and any flood lights shall be kept at a minimum located directly beneath overhangs.
- Floodlights are allowed, but only if they are shielded from the view of neighbors and are installed with a motion detector.
- The number of exterior lighting fixtures shall be limited.
- No colored bulbs are allowed except seasonal events.
- Exterior lights shall be mounted a maximum of 10 feet high on building surfaces.
- Lights aimed at building surfaces, or using the reflection of the building surface as the primary source of light is not permitted.
- Decorative light fixtures shall be a style approved by the LRDRB. Brass, carriage, etc... fixtures shall not be permitted. The source of light shall be concealed from view as to not disturb neighbors and streetscape. Photo cells and sensors providing sun-down to sun-up lighting are highly discouraged.
- Low voltage lighting is encouraged and all light fixtures are to be shielded to prevent night sky pollution.
- Avoid lighting the surface of garage doors. Indirect lighting recessed into eaves above the side walls adjacent to garage doors or diffused wall mounted light fixtures providing light on a wall surface is encouraged. No lenses or exposed light source is permitted.

**Pedestrian Pathways.** There will be a network of meandering pedestrian pathways throught the Project along commercial frontage. The path will be illuminated to minimum recommended levels in accordance with the IES Design Guide DG-5-94, “Recommended Lighting for Walkways and Class I Bikeways” in

conjunction with the function and focus of the particular portion of the pathway. This will be accomplished using internally lighted bollards 36 inches tall installed approximately 60 feet on center along the pathway. The lighting source for these bollards will be a compact fluorescent lamp chosen for efficiency and the variety of available color choices. Community Path Bollard design is established by Laughlin Ranch Master Design Criteria.

**Equestrian Pathways.** The equestrian pathway running throughout the Project is intended to complement the Laughlin Ranch overall equestrian trail system. Although this trail is not intended to be lighted, consideration will be given to the horse and rider during the lighting design process in terms of physical placement and function of the lighting fixtures.

**Parking Facilities.** The parking facilities will be lighted in accordance with the surroundings. Keeping with the subdued nature of the Project, the illumination levels of the open parking area will be minimal but in accordance with IES Recommended Practice RP-33-99 “Lighting for Exterior Environment” and RP-20-98 “Lighting for Parking Facilities.” The fixtures chosen for the open parking area will be of an aesthetic design in keeping with the nostalgic preservation of the area. These fixtures and the associated aesthetically complementary support arms will be installed such that the bottom of the lighting fixture will reach no higher than 16 feet above grade. These parameters combined with the utilization of a 100 watt high pressure sodium light source for each fixture will create an environment congruous to the surrounding with every consideration to the public safety.

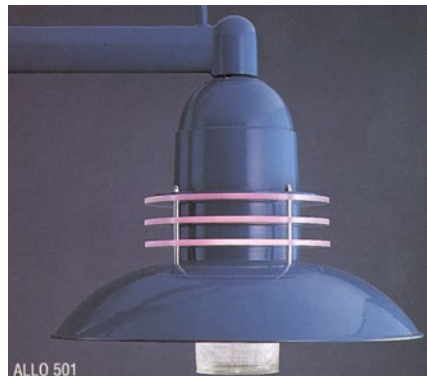
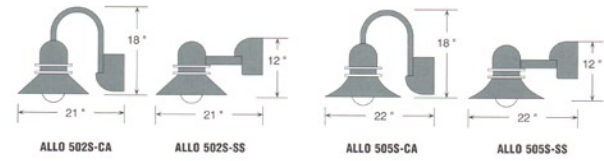
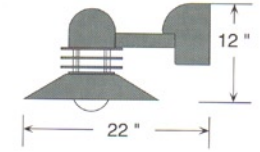
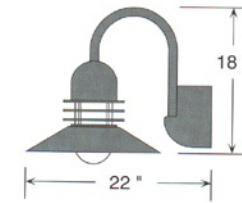
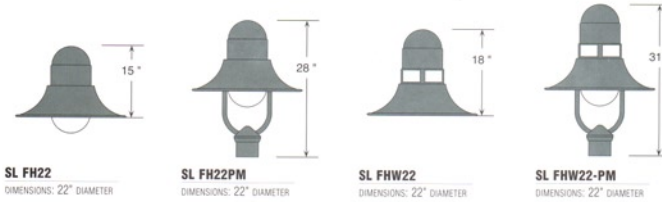
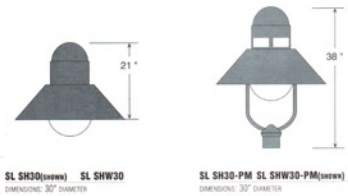
**Landscape Lighting.** Throughout the facility there will be landscaping elements offering aesthetic as well as practical application. Where lighted, each of these elements will be lighted using the low wattage (20 watts or less) halogen lamps in the MR 16 package. These lamps allow for utilization of low visual impact fixtures while maintaining the photometric control necessary for a safe and aesthetic installation.

**Entry monument** illumination will be restrained without sacrificing the observable nature of the entryways. This will be accomplished by utilizing low wattage (20 watts or less) halogen

lighting in the smaller MR 16 or PAR 20 package. These lamps allow for utilization of low visual impact fixtures while maintaining the photometric control necessary for a safe and aesthetic installation.



# Lighting Character



## Section Six: *Project Signage Standards*

### Overall Project Signage Design Criteria.

The master plan for image and architectural theme has been created to provide a unique, historically grounded, quality experience reminiscent of the regional heritage and befitting Laughlin Ranch. The signage will strive to achieve an eclectic style, full of interest, variation and charm in the Project's identity, down to the architectural facades and business identification.

A palette of signage techniques, materials and illumination options are set forth herein. These provide standard guidelines for quality and creative design that will give the individual users flexibility in design.

Signage will be designed to complement the architecture, allow functional requirements for safe and effective pedestrian and vehicular traffic direction and provide specific signage needs of the business owner. Each of the individual development phases of Laughlin Ranch will be reviewed by the Architectural Review Committee to ensure that signage complements the atmosphere that the architecture and theme of the developments and that it reflects the existing character and style established by Laughlin Ranch.

Signage elements with the Project will make use of simple materials and attachment methods that complement the architectural details and building finishes as well reinforce the specific character and theme.

Illumination signage and graphics through the project will incorporate various types of indirect external and/or subtle internal lighting techniques. Examples include "gooseneck" lamps, underwalkway spots, decorative neon applications and creative internal fluorescent lamp techniques. Lighting will provide adequate illumination for readability based on the location and user requirements.

**Individual Graphics.** Signage information is created using individual cut out letters and/or graphics from various types of materials. They may be mounted flush to walls at the pedestrian level, on building fascias and parapets.

**Lighting** can create the feeling of different environments within the same site. Because of the beautiful night time sky, lighting is limited to particular types and wattages. The intent is to make each site a subtle environment from the street, the neighbors and the community, rather than focal points.

**Panel Signage.** Signage information is created on panels and mounted to wall surfaces or suspended at front of arcades or as under walkway signs. Creating interest is encouraged by layering separate elements within the sign panel and cutting the panel into interesting shapes around the graphics. For suspended panels, backs that are visible from within the walkways are to be finished and incorporate elements of detail as seen on the “main street” side of the sign. Shingle signs will be finished the same on both sides to provide readability from either direction.

**Window Signage and Graphics.** Signage is directly applied to either interior or exterior surfaces of the glass. This type of signage truly represents a historic form of signage which will enhance the character and theme of the project. Graphics should also encompass the design of the display area and product behind the window. Creative and unique uses of product items will be highly encouraged.

#### **Individual Business Signage.**

- Maximum sign size for any single business shall not exceed the square footage equal to the linear footage of the store/lot frontage. Maximum area for any one sign shall not exceed 50 square feet. For corner lots, only the main entrance frontage shall be measured.
- Maximum total aggregate areas of signage for any one business shall not exceed 100 square feet.
- Window signs are limited to 2 square feet maximum.
- Signage shall be individual letters attached to the face of the building. Cabinet signage is prohibited.
- Illuminated signage may be achieved by a shielded spot light, or reverse pan channel letters.

#### **Multiple Business Signs.**

- Building directory signs are permitted and shall not exceed 6 square feet per sign. One directory size per 20,000 square feet of building area. Directory signage is not included in maximum area for individual signage. \* For single tenant building and multi-tenant buildings under unified control, monument signs are permitted. Parcels greater than one acre may have one monument sign for each street frontage. Monument signs must be located a minimum of 50’ from the intersection. Monument signs with only the name of the building shall not be included in the calculation for individual businesses. Up to 2 square feet of signage per business may be included on monument signage area and is included in the calculation for individual business signage.
- Monument signs shall be individual letters/symbols attached to the monument face. Monument construction shall compliment the building design and materials.
- Internal illuminated signs are prohibited, unless approved by the LRDRB. Monument signs may be illuminated by a shielded spot light or reverse pan channel letters.



### Sign Colors and Materials:

Sign background and individual letters are to be compatible with corresponding building design and materials. Colors to be selected from approved palette.

- **Individual Business Signage and Monument Signage:**

Freestanding monuments utilizing wood of different finishes and types, adobe block, stone, traditional brick and plaster. Landscape/perimeter walls with identification in a low profile format. Lettering may take the form of cast in place graphics, individual dimensional letters and logos, sand blasted wood or stone and painted features.

Maximum individual sign area: 50 sq. ft.

- **Directory Monument:**

Unique elements fabricated of wood, metal posts with appropriate fenestration and details, adobe block, stone, brick and plaster, freestanding sculptural elements, wall mounted and hanging plaques, laser cut images and copy in three dimensional form.

Maximum individual sign area: 2 sq. ft. per business.

Maximum sign area: 24 sq. ft.

5' Maximum sign height located behind building setback; 42" within setback.

- **Project Pedestrian Directories:**

Sandblasted and painted wood of different finishes and types, wood and/or architectural type metal posts with appropriate fenestration and details, adobe block, stone or brick bases integrated into the hardscape, freestanding sculptural elements, hanging plaques of soft or rigid materials or inlaid patterns of stone, mosaics in the ground plane.

Maximum ind. sign area: 6 sq. ft.

- **Individual Graphics:**

Painted or "rusticated" aluminum, copper or brass, sand blasted wood pieces, porcelain enamel metal forms; ceramic tiles set into delineated areas or fresco type painted wall surfaces; wood frames surrounding individual lettering. Neon may also be used where it is appropriate and; unique in design and application.

- **Panel Signage (Wall or Suspended):**

Painted woods and metals, sandblasted or carved wood, porcelain enamel, wrought iron, ceramic tile which is surface mounted or held within a frame and then mounted to walls or backer surfaces; multiple layers of forms and cut out shapes and letters.

Maximum ind. sign area: 6 sq. ft.

- **Window Signage/Graphics:**

Gold, silver or copper leaf; etching or hand painted style of lettering and/or graphics; vinyl designs when metallic, frosted (Etchlike) or unique layering of colors are used for thematic effect. Neon may also be used behind the windows if it is deemed creative and unique and lends to the theme of the store.

No "store bought" or mass fabricated type neon may be used.

Lesser of either 25% of window area or 6 sq. ft. max.

Signage Allowed: 1 sq. ft. per linear building footage of frontage (corner lots can count both frontages).

Max. sign area:

Urban Commercial:	50 sq. ft.
Neighborhood Commercial:	80 sq. ft.
General Commercial:	100 sq. ft.

# Signage Character

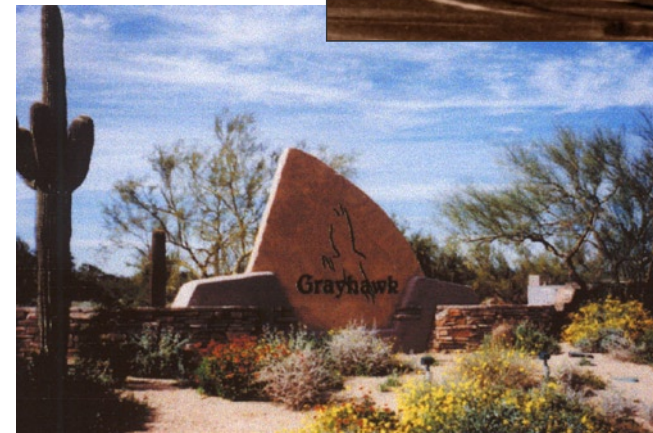
Rusted Steel Theme



Concrete Theme

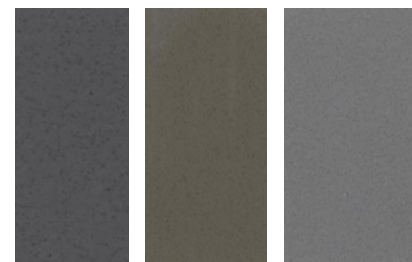


Natural Stone Theme



## COLOR PALETTE

NATURAL STONE COLOR



CONCRETE WITH WHITE STUCCO

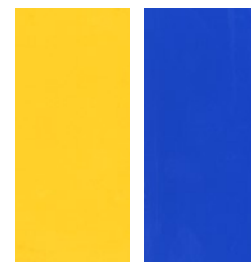
SANDBLASTED LOGO PAINTED BLACK



RUSTED STEEL MAIN SIGN PLATE



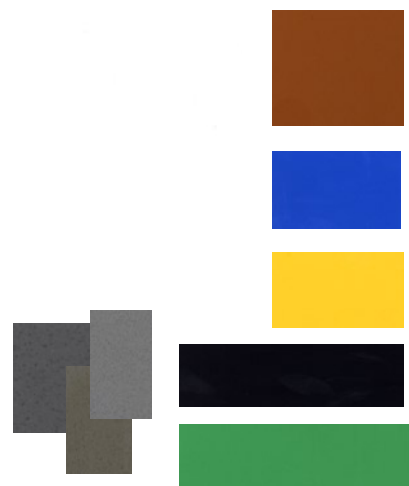
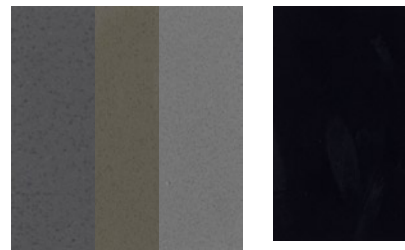
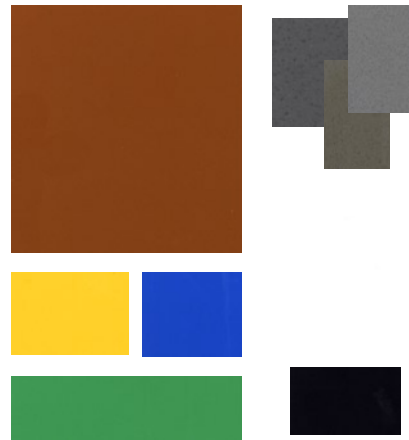
COLOR RANGE FOR ALL-WEATHER LETTERS



VEGETATION



Signaled Theme Color Palettes



*Signage Character*

Panel Signage

Window Signage

Directory Signage

Window Signage

Primary Information Signs



Secondary Directional Signs



Speciality Signs



Street Signage



## Section Seven: *Architectural Design*

**Laughlin Ranch** is envisioned to be artful community with open spaces, natural features, village commons and several other amenities. To carry out this beautiful image, architecture plays a Key role. Therefore, no one particular character is predetermined for the entire community. The creators of Laughlin Ranch realize that creativity and variety make up those places we enjoy being a part of. Every design will be reviewed to ensure that the smallest building the same amount of effort, art and detail as the largest building. There are four architectural “styles” that are acceptable in Laughlin Ranch, including: Spanish Colonial or Mission, Hacienda, Ranch, and Pueblo. Although these “styles” vary and can have different interpretations, community wide architectural design standards will assist in establishing an identity that will blend together to form the artful community that is envisioned. Some of these designs fit the natural landscape better than others. The architect and owner will be responsible for choosing a style that will be deemed appropriate for its location and context.

## Cultural Relevance

- Consider very strongly the cultural and historical relevance of the regional area in general and in whole.
- Overall appearance of the architectural expression shall draw not only from the local climate and terrain but from historically correct styles responsive and expressive throughout the rich history of the Southwest.
- Non-traditional, exotic, or “east coast” influenced architectural character is inappropriate and highly discouraged. Examples would include Tudor, Swiss Chalet, Gothic, French, Chinese, Moroccan, African, or Arabic.
- The resulting architectural expression should be profound in it’s approach and unique in it’s signature. It’s design integrity and expression of quality is highly influential on the overall fabric of the development and integrity of the whole.

## Visual Impact

- The visual impact shall be minimal, choosing to be inconspicuous rather than dominating.
- The impact of the proposed design will be considered from vantage points near and far, and common ground points at, below and above the structure.
- The color, massing, shape, and texture of the structures are complimentary and sympathetic to the adjacent streetscape and natural surroundings.
- Exterior colors of all buildings (including stucco, trim, roof, doors, walls, and any landscape materials) must be approved by the LRDRB.
- The overall three dimensional composition of the structures should be an exercise in design restraint stressing subtle effective massing changes vertically and horizontally and avoiding meaningless changes of color, materials, rhythm, and/or form.
- The overall dimensional composition should convey logic, order, and visual integrity.
- Varied front set back and side yards are encouraged. Avoid uniform front & side yards.
- The same or similar building elevations located next to each other or presented in a monotonous or repetitive fashion are prohibited.

## Quality/Permanence

- Exterior material finished surface must be capable of withstanding the extreme temperature changes prevalent in the area.
- Exterior materials must maintain their original appearance or age in such a fashion that adds to the character and does not create a failure of structural or thermal integrity.
- Exterior materials should convey honest expression of innate integrity associated with it’s use and should not attempt to defy the laws of gravity or common sense.
- Application of exterior materials should express honesty and permanence while avoiding the look of being applied rather than integrated.
- Reflective materials are not allowed.
- Durability and visual integrity are to be considered as prime factors in selecting final products.
- Overall massing and aesthetics should convey integrity and quality of design.
- Designs shall be considered from all sides not just front or rear elevations, and all elevations should maintain a visual cohesiveness.
- Use of proportion to emphasize horizontality is encouraged.
- Multiple material elevations are required.
- When stucco systems are utilized, finish texture shall be smoother “sand” varieties. No heavy textures such as “Spanish lace” are permitted.

## Roof

- Roof Materials may include:
  - Painted Metal
  - Corrugated Metal
  - Copper (Non-Reflective)
  - Clay Tile
  - Wood Shakes
  - Concrete Tile
  - Slate
- Roof slopes are to be no less than 2:12
- Use of broad overhangs is encouraged.
- Flat roofs are permitted with minimum ¼” per foot minimum slope and all flashing, appurtenances, vents, and skylights adequately screened behind parapets of

sufficient heights to do so.

- Projecting eaves are to be not less than 6” in thickness.
- Gutters may be of galvanized steel, copper or painted aluminum.
- Scuppers are allowed as long as they are integral to the architectural style of the house.
- Skylights are discouraged on sloped roofs, however the LRDRB may consider them with submission of fully detailed drawings showing location in plans and elevations.

## Windows/Doors

- Windows, Doors, and Garage Doors may be made of:
  - Wood/Painted or Stained
  - Steel (except front door)
  - Copper
  - Glass Block
- Windows and Doors should be insulated. Monolithic glass less than 3/8” thick is prohibited as well as any reflective surfaces.
- Divided lites are encouraged.
- Arched windows should be of all the same type.
- Exterior shutters the same size as adjacent opening are allowed.
- Iron grills are allowed.
- Awnings are allowed as long as designed integrally and compatible in style. Retractable styles must have wind sensors.
- Security gates will be permitted only with the approval of the LRDRB.
- Shade screens shall be colored to match building.

## Section Eight: *Spanish Colonial*

Spanish Colonial Architecture in its contemporary form is one of asymmetrical composition, informal entrances, balconies and colonnades. It is a simple, yet elegant, design with refined details in the fascias, windows and walls. Limited openings and details lend themselves to elegant, understated focal points and views. Often times, the use of exterior staircases and tower elements compliment the visual interest to the building. With one primary building mass and several “wings”, courtyards and terraces are formed to blend with natural grade and create usable outdoor spaces. These are essential for viewing the spectacular sunrises and sunsets with friends or for those private, almost spiritual moments. Typically the main building mass is an L, U or H shaped mass with an entry terrace with an arched entry element. The use of a circular or square entry tower can be used as a vertical element to create an interesting visual approach. Often times, the use of second-story balconies is used to break up the large primary mass. Shed and gable roofs forms are the defining rooflines used for this design.

## Major architectural elements

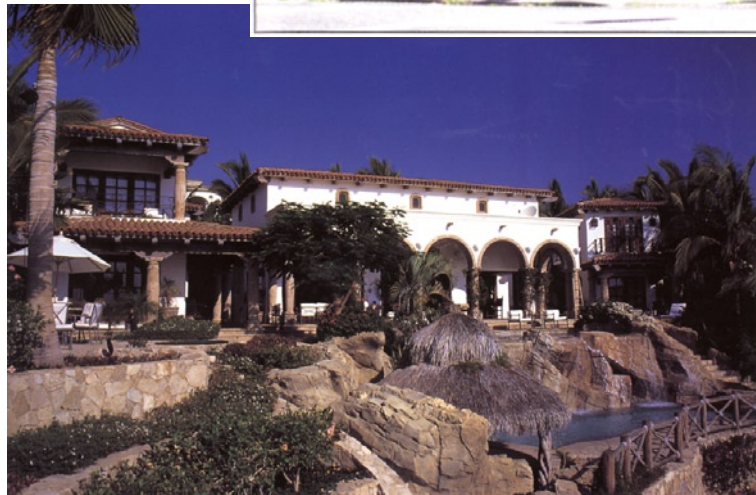
- Roof forms are typically shed or gable with limited conical roofs. Tile should be used as the roof material.
- Structural supports are typically arched arcades with pre-cast concrete or canterra columns with the use of corbels, beams and rafter tails. Stucco pilasters with decorative trim with arches are also used.
- Exterior materials are usually limited to one primary material with subsequent materials used only as accents around window headers and sills. Stucco eave details and exterior walls are characteristics of this designs, however, painted or whitewashed brick may be used with color, size and texture approval.

## Accent and Detail elements

- If arched windows and doors occur, they should have a full round arch shape with divided lites. They can be square, rectilinear, round or oval in shape. French doors should have divided lites as well. Windows should be non-reflective and non-mirrored.
- Trim details should include exposed wood rafters and stucco cove details. Chimneys should be simple in design and unornamented. Gable end vents should be decorative.
- Railings, gates, grilles and fences should be wrought iron or metal.
- Site walls should match the exterior material of the building and should have a simple, understated cap.



# *Spanish Colonial & Mission Architecture*



## Section Nine: *Hacienda*

Hacienda architecture is primarily designed around a central courtyard as a focal point. Because of the climatic conditions in Arizona, this type of architecture has been used for many years to help compromise the desire for outdoor living with extreme temperatures. The central courtyard typically has a traditional water feature and canopy trees to enhance the beauty of being in this outdoor space. Typically this architectural design has two predominant exterior materials, stone and exterior plaster, to maintain its rustic connection to the past. The roof can be clay-tiled or flat, with timber elements and exposed rafter tails. Parapet walls are capped with artful masonry and stone details. Vertical accent elements are typically stone to give the appearance of a horizontal architectural profile. This architecture is more casual and informal than the Spanish Colonial architecture. Hacienda buildings are L, U or H shaped and forms around a central courtyard. Covered terraces are typically used to transition from one-story to two-story building masses. Separate building masses should be linked with covered walkways for a horizontal appearance.

## Major architectural elements

- Roof forms can range from shed and gable to flat. No conical roofs are present. Typically, some flat roof masses occur for accent or buildings are entirely designed with flat roofs.
- Structural supports are typically square wood posts (minimum 8"x8") with corbels, beams and rafter tails. Square masonry or stucco pilasters are used and columns can be round pre-cast or stone.
- Exterior materials are usually stucco with stone accents that are used to provide distinct contrast to the stucco material. The use of natural earth tone brick may be used upon color, size and texture approval.

## Accent and Detail elements

- Windows and doors should be rectilinear or square in shape. They can be arched, but only in selected configurations. The use of planked shutters should be limited. French doors should have divided lites as well and should be used in applications other than the primary entrance door. Windows should be non-reflective and non-mirrored
- Trim details should include exposed wood rafters. Chimneys should be simple in design and unornamented. Gable end vents should be decorative.
- Railings, gates, grilles and fences should be wrought iron or metal.
- Site walls should be stone or an approved size, color and textured brick with a simple, understated cap.



# Hacienda Architecture



## Section Ten: *Ranch*

**Ranch architecture** is most commonly associated with the southwest because of its strong influences to the historical ranch heritage. With its horizontal design, large overhangs, front porches and **natural materials**, the character of Ranch style is found throughout the state and reminiscent of the past. Typically these buildings are rectilinear, L or H shaped in design to provide a street presence. Much like the Hacienda architecture, Ranch designed buildings are **informal** and allow for a casual, **inviting atmosphere**. Courtyards, porches, shaded patios and raised terraces are typically oriented toward to the street to also aid in the **inviting character**.

## Major architectural elements

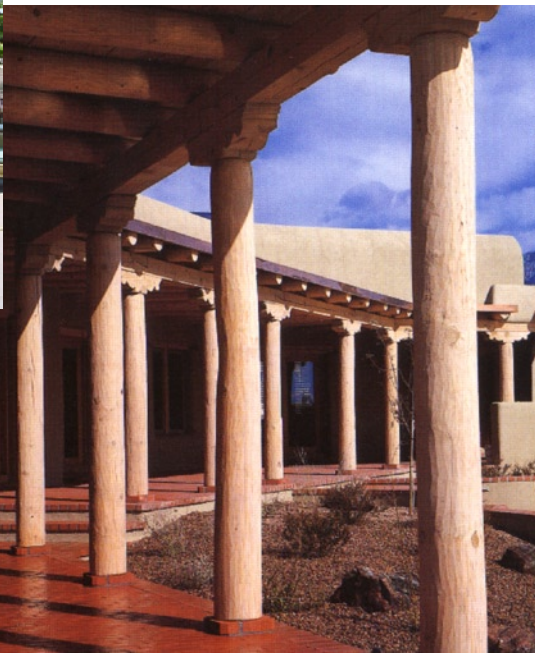
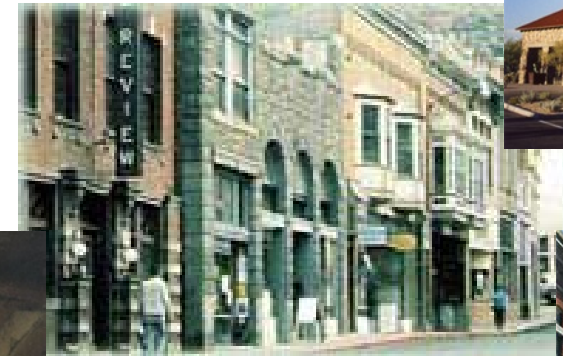
- Roof forms are primarily gable roofs. However, limited use of shed or hip roofs may be used over patios and porches. Typically the roof material is clay tile.
- Structural supports are typically square wood posts (minimum 8"x8") with corbels, beams and rafter tails. Square masonry or stucco pilasters are used and columns can be round pre-cast or stone.
- Exterior materials are usually stucco with stone accents that are used to provide distinct contrast to the stucco material. The use of natural earth tone brick may be used upon color, size and texture approval.

## Accent and Detail elements

- Windows and doors should be rectilinear or square in shape. They can be arched, but only in selected configurations. The use of planked shutters should be limited. Tiled roof awnings may be used over windows. French doors should have divided lites as well and should be used in applications other than the primary entrance door. Windows should be non-reflective and non-mirrored
- Trim details should include exposed wood rafters. Chimneys should be simple in design and unornamented. Gable end vents should be decorative.
- Railings, gates, grilles and fences should be wrought iron or metal.
- Site walls should be stone or an approved size, color and textured brick with a simple, understated cap.



# Ranch Architecture



## Section Eleven: *Pueblo*

Pueblo architecture has roots that go back to the Native Americans that settled in the Southwest. Utilizing what was available, Adobe was the most common building material for these homes. The Adobe was a good material for the hot days and the cool nights of the desert. Today, Pueblo architecture is still present throughout Arizona, although adobe is not always used. Pueblo buildings are typically long, low rectilinear plans with flat roofs.

## Major architectural elements

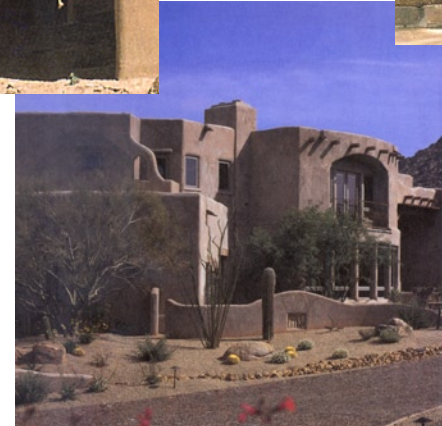
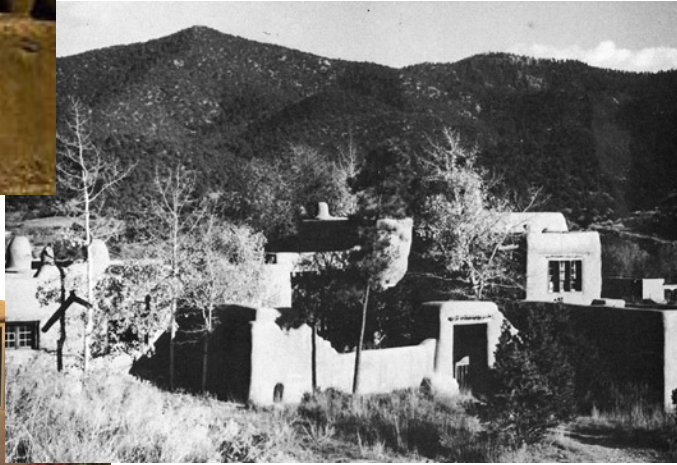
- Roof forms are primarily flat roofs. However, limited use of shed or hip roofs may be used over patios and porches. Typically the sloped roof material is clay tile.
- Structural supports are typically square wood posts with corbels, beams and rafter tails. Square Square or round pilasters are used and columns can be wood, stucco or stone.
- Exterior materials are usually stucco with stone accents that are used to provide distinct contrast to the stucco material. The use of natural earth tone brick may be used upon color, size and texture approval.

## Accent and Detail elements

- Windows and doors should be rectilinear or square in shape. They can be arched, but only in selected configurations. The use of planked shutters should be limited. Tiled roof awnings may be used over windows. French doors should have divided lites as well and should be used in applications other than the primary entrance door. Windows should be non-reflective and non-mirrored
- Trim details should include exposed wood rafters. Chimneys should be simple in design and unornamented. Gable end vents should be decorative.
- Railings, gates, grilles and fences should be wrought iron or metal.
- Site walls should be stone or an approved size, color and textured with a simple, understated cap.



# *Pueblo Architecture*



## Section Twelve: *Landscape Design*

Landscape Design is equally important to the character of a community as the architecture itself. The vision of Laughlin Ranch is to integrate with the desert rather than make a statement on the desert. Landscape will play a key role in creating a seamless transition from developed sites to the undisturbed areas. Front yards should be designed to be inviting and provide beautiful streetscapes. Context will play an important role as well to help create transitions between parcels to avoid contrasting styles and add to the overall character of Laughlin Ranch. Laughlin Ranch encourages that designs include low water usage vegetation. Approved plant lists are provided and give the property owner and designer a variety of options to create beautiful landscapes.

The design and installation of front yard landscape is the responsibility of the property owner within 60 days of receipt of certificate of occupancy provided by City/County. The landscape installation will be inspected within 10 days of completion, with written confirmation of conformance by the Laughlin Ranch Owners' Association. The following are clarifications and minimum guidelines for landscape design.

### Neighborhood Commercial & General Commercial Palette.

Plant Type	Min. Size	Min. Plants per S.F.
Trees	48" box	1:2,000 S.F.
	36" box	2:2,000 S.F.
	24" box	1:2,000 S.F.
Shrubs	5 gallon	1:100 S.F.
	1 gallon	1:100 S.F.
Ground Covers	1 gallon	1:50 S.F.

### Urban Commercial Palette.

Theme "Street Tree"	48" box	1:20' linear. frontage
Shrubs	5 gallon	1:50 SF
Ground Covers	1 gallon	1:10 SF

#### Decomposed Granite:

Acceptable types include "Mineral Park Gold", "Desert Gold", "Mohave Gold" or "Aztec Bronze."

**Design Concepts.** 1) Trees shall be used to soften the architecture of the proposed buildings and provide shade for parking and pedestrian areas. The limited variety of acceptable trees is intended to create continuity and compatibility within the entire community. 2) Shrubs shall be used to create foundation planting adjacent to proposed buildings to provide an appropriate transition between the building and the ground plane. Shrubs should also be used to provide visual screening for parking areas and utility boxes. 3) Ground covers shall be used to provide continuity within the landscape and tie together the other landscape elements.

### Landscape

- Grading: Landscape installation shall not obstruct drainage through the lot as established by the Civil Engineer. Sharp edges and corners of all slopes shall be graded softly to reflect the character of the natural setting and establish smooth transitions to any adjacent development or open space. Landform should be simple with broad, gradual transitions without bumps, isolated mounds, or engineered rip-rap banks. Low walls, integral to architecture, and stone walls or terraces may be approved if they exhibit a purposeful design relationship to landscape and architecture.
- Berming or gentle mounding of front yard landscape is recommended but not required. Shape of berms shall be smooth and random with variable side slopes (5:1 – 8:1) feathered to blend into adjacent grade condition.
- Front yard landscape sets the precedent of the community
- Landscape maintenance is required by Property Owner to ensure healthy, neat, and weed-free landscape for the benefit of the larger community, but over-grooming, including shearing and "poodle" pruning, is *prohibited*.
- The use of headers as an individual element to divide or define property edge is prohibited.
- Property Owner, or designated contractor, assumes liability for any disturbance along foundations, waterproofing to the building or any perimeter walls.
- Landscaper must review site with builder representative prior to beginning work to note actual site conditions or

discrepancies.

- Shrub and groundcover varieties shall be clustered in random solid masses.
- Select plants for alternating seasons of display and color. (8 varieties maximum per front yard design)
- Boulders may be incorporated into the landscape design, however shall be clustered and limited to surface select granite type. Boulders shall be clustered with varied sizes, buried 1/3 below grade and incorporated with grades to mimic a natural outcropping. Boulders may not exceed 3' in height (above street curb) and shall have a natural character that is compatible with specified decomposed granite. Colored and lava rock are prohibited. The use of river rock for non-functional decorative swales is prohibited.
- The use of polyethylene film below granite is prohibited.

Decomposed granite shall be used to top dress all landscape areas, with at least one application of pre-emergent herbicide. It is the Property Owner's responsibility to keep landscape areas weed free at all times. The specified granite is 1" minus (if available) or smaller and spread to a natural appearing depth (2") over prepared sub-grade. Decomposed granite shall be graded uniformly along all walls, walks, and curbs.

- Property Owner may use low voltage lighting to highlight entry walks, or accentuate trees. Colored bulbs and lenses are prohibited. Light source must be adjusted to minimize glare onto adjacent properties or streets. Lights are prohibited to line edge of driveways or streets.
- Ornamentation such as driftwood, skulls, wagon wheels, sculptures, ceramic figures, etc. is not permitted in front yards.
- Special design features such as low walls, trellis, water features, upgraded driveway and front yard walks, or other structures are encouraged, but must be approved in advance by the Laughlin Ranch Owners Association. Front yard accent walls cannot exceed 30" (without specific approval) and must be finished to match house finishes.
- The use of seasonal annual color or potted plants is encouraged along entry walks or patios.
- Any permanent structures 60" above grade and higher, shall be submitted to the Laughlin Ranch Design Review Board prior to construction. Laughlin Ranch Design Review Board will review and provide written comments back to the property owner within thirty (30) days. The review will evaluate any conflicts with specific lot conditions or impact on adjacent properties and views.
- Property owners are responsible to maintain drainage established by the Civil Engineer.
- Property Owner assumes liability for any disturbance along perimeter walls. No improvements shall touch these structures.

- Construction shall be completely contained within each lot unless otherwise approved by the Laughlin Ranch Owners Association.
- Site lighting must be focused within project site and must be shielded from adjacent lots or open space.
- All irrigation equipment must be screened adjacent properties and streets.
- Irrigation design and installation is to satisfy all local codes.
- Maintenance of all landscape and irrigation is the responsibility of the Property Owner.
- No trenching within 18" of foundation, structures or site walls.

### Submittal Requirements:

Preliminary submittal, is encouraged to streamline the effort and approvals. Preliminary submittal should include:

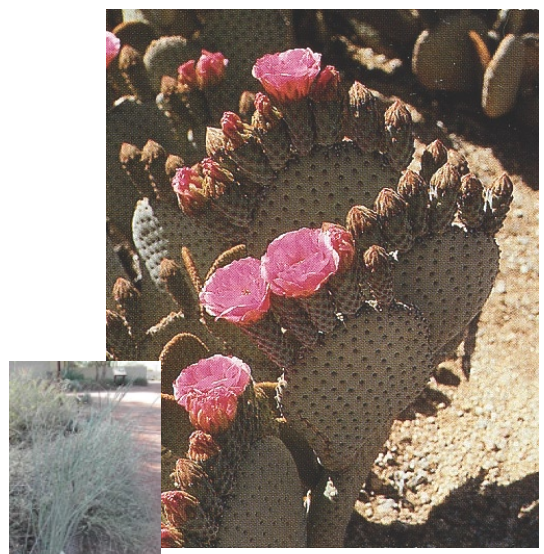
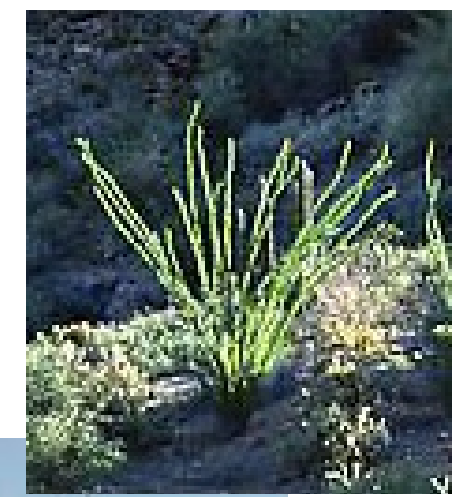
- A concise design concept statement
- A basic site diagram illustrating grading and drainage

### Final Submittal shall require:

- A concise design concept statement
- Landscape plan at 1/8" = 1' scale, showing:
  - Title information with Owner's name and phone number, preparer's name, if any, and phone number, parcel number and address, scale, north arrow, and date.
  - Building perimeter exterior wall with door/window openings, walls, fences, property and easement lines, sidewalk and curb at street.
  - Names and sizes of plants and all other materials and paving, including colors. Plant symbols shall be shown at projected maturity of three to five years growth for shrubs and trees respectively.
  - Grading concept, including drainage provisions and erosion control treatment, with contours and section(s) as needed to clearly communicate the intent of site grading.
  - Visible structures or non-approved planting in rear yard, if any, shown with elevations as needed.
  - Notes on irrigation and lighting regarding type of system and compliance to standards.
  - Approximate schedule and date of completion.

If final submittal is missing key information or does not reasonably satisfy the standards above, the submittal will be considered void and re-submittal will be required. If re-submittal is substantially substandard, the committee may also require that the Owner retain professional services in preparing a re-submittal. Owner shall allow 10 days for the approval process. Approval will be provided in writing.

*Landscape*



## Section Thirteen: *Approved Plant List*

The following is a select list of plant material that Property Owner shall select from for landscape design. The Owner and/or Landscape Designer shall select a maximum of eight (8) plant varieties that best addresses actual exposure, site condition and individual preferences.

**Botanical Name****Common Name***Trees*

Acacia species	Acacia varieties
Cercidium species	Palo Verde
Chilopsis linearis	Desert Willow
Dahlbergia sissoo	Sissoo Tree (rear yard only)
Dalea spinosa	Smoke Tree
Geijera priflora	Australian Willow
Lysiloma thornberi	Feather Tree
Olneya tesota	Ironwood
Pithecellobium species	Texas Ebony
Prosopis chilensis	Chilean Mesquite
Prosopis velutina (juliflora)	Velvet (native) Mesquite
Sophora secundiflora	Texas Mountain Laurel (rear yard only)

*Accents*

Agave species	Agave
Aloe species	Aloe
Asclepias subulata	Desert Milkweed
Dasylyron wheeleri	Desert Spoon
Dasylyron acrotiche	Green Desert Spoon
Hesperaloe Funifera	Giant Hesperaloe
Hesperaloe parviflora	Red yucca
Muhlenbergia rigens	Deer Grass Varieties
Nolina bigelovii	Beargrass
Yucca species	Yucca varieties

*Shrubs/ Groundcover/ Vines*

Acacia redolens 'D.Carpet'	Desert Carpet Acacia
Ambrosia deltoides, A. dumosa	Triangle-leaf and White Bursage
*Asparagus densiflorus 'Myers'	Foxtail Fern
Bahia absinthifolia	Bahia, Desert Daisy
Baccharis hybrid 'Starn'	Thompson Baccharis
Baileya multiradiata	Desert Marigold
*Bougainvillea 'B. Karst'	Bush Bougainvillea (rear yard only)
Caesalpinia pulcherrima	Red Bird of Paradise
Calliandra californica	Baja red Fairy Duster
Calliandra eriophylla	Pink Fairy Duster
*Carissa grandiflora 'Tuttlei'	Natal Plum
Carnegia gigantea	Saguaro

**Botanical Name****Common Name**

Cassia Oligophylla	Outback Cassia
Cassia phyllodinea	Silvery Cassia
Celtis pallida	Desert Hackberry
Cereus species	Columnar cacti, (Organ Pipe, etc.)
Chrysactinia mexicana	Damianita
Convolvulus encorum	Bush Morning Glory
Cordia parviflora	Little Leaf Cordia
Dalea capitata 'Sierra Gold'	Sierra Gold Dalea
Dalea frutescens 'Sierra Negra'	Black Dalea
Dalea Greggii	Trailing Indigo Bush
Dyssodia species	Dyssodia
Echinocactus, Ferocactus species	Barrel Cactus
Echinocereus englemannii	Hedgehog cactus
Encelia farinosa	Brittlebush
Ephedra species	Mormon Tea, Ma-huang
Ericameria laricifolia	Turpentine Bush
Erimophila Spp. 'Valentine'	Valentine Bush
Ermophila Variety	Silver Streak
Eriogonum Fasciculatum	Sulphur Flower
*Ficus Pumila	Creeping Fig (Fig Vine)
Euphorbia myrsinites or rigida	Prostrate Euphorbia
Euphorbia Rigida	Gopher Plant
Fouquieria splendens	Ocotillo (credit as a 5-gallon shrub)
Gutierrezia sarothrae	Snakeweed
Hibiscus coulteri	Desert Rose-mallow
Hymenoxys acaulis	Angelita Daisy
Justicia species	Chuparosa, etc.
*Lantana camara 'New Gold'	New Gold Lantana
*Lantana montevidensis	Purple Lantana
Leucophyllum laevigatum	Chihuahuan Sage
Leucophyllum frutescens 'heavenly'	Heavenly Cloud Texas Sage
Leucophyllum langmaniae	Rio Bravo Texas Sage
Leucophyllum species	Sage Varieties
Lophocereus schottii	Totem Pole Cactus
Lycium species	Wolfberry
Lupinus species	Lupine
Melampodium leucanthum	Blackfoot Daisy
Muhlenbergia species	Deer Grass
Mimosa species	Mimosa
Mascagnia lilacina	Lavender Orchid Vine



## Botanical Name

Mascagnia macroptera  
\*Myrtus communis 'Microphylla'  
Oenothera caespitosa  
Opuntia species  
Pedilanthus macrocarpus  
Penstemon superbus  
Penstemon palmeri  
Penstemon parryi  
Penstemon superbus  
\*Pittosporum tobira dwarf  
Podranea ricasoliana  
\*Pyracantha fortunea  
\*Rosa banksiae 'Lutea'  
Rosmarinus officinalis  
\*Ruella brittoniana 'Katie'  
Ruella peninsularis  
Salvia clevelandii  
\*Salvia coccinia  
\*Salvia greggii  
Salvia leucantha  
Simmondsia chinensis  
Sphaeralcea ambigua  
Stachys coccinea  
Tagetes palmeri (Lemmon)  
Tecoma stans  
\*Tecomaria capensis  
\*Trachelospermum jasminoides  
\*Tulbaghia violacea  
\*Vauquelinia californica  
Verbena gooddingii  
Verbena rigida  
Verbena pulchella  
Viguiera deltoidea  
Wedelia trilobata  
\*Xylosma Cong. 'Compact'

## Common Name

Yellow Orchid Vine  
Dwarf Myrtle  
Evening Primrose  
Cactus varieties  
Slipper Plant  
Superb Penstemon  
Palmer's Penstemon  
Parry's Penstemon  
Superb Penstemon  
Wheelers Dwarf Pittosporum  
Pink Trumpet Vine  
Pyracantha  
Lady Banks Rose  
Trailing Rosemary  
Ruella 'Katie'  
Desert Ruella  
Chaparral Sage  
Cherry Sage  
Red Salvia  
Mexican Bluesage  
Jojoba  
Desert Globemallow  
Texas Betony  
Mt. Lemmon Marigold  
Yellow Bells  
Cape Homeysuckle  
Star Jasmine  
Society Garlic 'Purple'  
Arizona Rosewood  
Goodding's Verbena  
Sandpaper Verbena  
Rock Verbena  
Goldeneye  
Wedelia  
Compact Xylosoma

*Note: Other species, not listed above or on list of prohibited plants may be submitted for review and approval.*

*\*Restricted to enclosed entry/ courtyard/ rear yard*

## Prohibited Plant List

- Palms with a mature height of 6' max. allowed in rear yards only.
- Fruiting Olive and Mulberry trees are prohibited.
- Fountain Grass is prohibited due to invasive character.
- Common Bermuda is prohibited due to its invasive character.
- Citrus: Dwarf varieties are permitted within screened rear yards only.
- Cupressus and Juniperus, Cypress and juniper: Low varieties permitted within screened rear yards only.
- Oleander species: Dwarf varieties permitted within screened rear yards only.
- Parkinsonia aculeata                      Mexican Palo Verde
- Phoenix dactylifera                      Arab Date Palm
- Pinus species                                  Pine
- Populus    Cottonwood
- Schinus molle                                  California Pepper
- Tamarisk    Salt Cedar
- Turf in front yards is prohibited. Only sterile hybrids are permitted in rear yards.

## Prohibited Landscape Materials

Lava rock (except local field stone, permitted), volcanic cinders, white marble or light travertine, and bright, artificially-colored or screened (even-size) gravels are prohibited outside of screened enclosures. Permitted materials include decomposed granite in desert hues, rock and boulders that are reasonably similar in color to regionally indigenous materials.

Section Fourteen:  
*Construction Requirements*

## Construction Regulations

The preservation of the natural areas of Laughlin Ranch is critical to the community. In order to ensure that the natural area of each developed property is preserved to the maximum extent possible and the nuisances inherent to any construction process are kept to a minimum, the following regulations shall be strictly enforced during the construction period of all improvements at Laughlin Ranch. The Owner of a property shall be responsible for violations of the Design Guidelines, including construction regulations contained therein, by any contractor, subcontractor, agent, or employee performing any activities on behalf of the Owner within Laughlin Ranch, whether located on the project site or elsewhere within Laughlin Ranch.

## OSHA Compliance

All applicable Occupational Safety and Health Act (OSHA) regulations and guidelines must be observed at all times.

## Construction Trash Receptacles and Debris Removal

Owners and builders shall clean up all trash and debris at the end of each day; an approved trash receptacle must remain on the site at all times for this purpose to contain all lightweight materials or packaging. The receptacle must be positioned on the site alongside the access drive, clear of side and rear setbacks, adjacent road right(s)-of-way and neighboring properties. Trash receptacles must be emptied on a timely basis to avoid overflow of refuse; disposal shall be at a suitable off-site facility. Owners and builders are prohibited from dumping, burying, or burning trash anywhere on the site or in Laughlin Ranch. Heavy debris, such as broken stone, wood scrap, or the like must be removed from the site immediately upon completion of the work of each trade that has generated the debris.

All concrete washouts, from both trucks and mixers, must occur within a contained area of the construction site in a location where

it will be ultimately concealed by structure or covered by backfill. Concrete washout in road rights-of-way, setbacks or on adjacent properties is strictly prohibited and subject to a significant fine.

During the construction period, each construction site shall be kept neat and shall be properly policed to prevent it from becoming a public eyesore or detriment to other properties or open space. Any clean-up costs incurred by the Laughlin Ranch Design Review Board or the Association in enforcing these requirements shall be payable by the Owner. Dirt, mud, or debris resulting from activity on each construction site shall be promptly removed from public or private roads, open spaces and driveways or other portions of Laughlin Ranch.

## Sanitary Facilities

Each Owner or builder shall be responsible for providing adequate sanitary facilities for construction workers. Portable toilets must be located clear of all setbacks and in a discreet location approved on site by the Laughlin Ranch Design Review Board.

## Vehicles and Parking Areas

Construction crews will not park on, or otherwise use, undeveloped portions of project site or open space. All vehicles shall be parked within an agreed upon area by the Laughlin Ranch Design Review Board. During very busy construction periods involving multiple trades such that all construction vehicles cannot be confined to the site proper, the overflow vehicles may be temporarily parked along the shoulder of the roadway; in locations and for time periods solely as approved by the LRDRB. During these periods the road must allow continual unconstrained access by normal traffic and emergency vehicles, including fire trucks. Where parking on the shoulder occurs all damage to the shoulder and landscape must be repaired by the contractor continually and not left for the end of construction. Vehicles may not be parked on neighboring properties, in nearby driveways or on open space. Changing oil or other vehicle maintenance or fixing is prohibited.

## Conservation of Native Landscape

Trees and all natural areas which are to be preserved must be marked and protected by flagging, fencing, or barriers. The Laughlin Ranch Design Review Board shall have the right to flag major terrain features or plants which are to be fenced for protection. Any trees or branches removed during construction must be promptly cleaned up and removed from the construction site.

## Erosion Control

During construction, measures must be taken to eliminate erosion. The following outlines the required, in-the-field construction methods that must be performed by the contractor. All measures utilized must comply with city/county ordinances, which all contractors should familiarize themselves with.

- Temporary run-off channels must be built to drain construction zones; in areas draining two acres or less, channels must have silt screens installed at appropriate locations; silt screens should be stretched across and anchored to the bottom of the channels with hay bales placed on the upstream side of the fabric; where watershed above the site exceeds two acres, temporary earthen berms or ditches for channeling must be used in conjunction with silt screens.
- All storm drain inlet structures must be protected by a filter berm until the area is stabilized with vegetation or the base course of pavement is installed.

- Weather permitting, all embankments constructed as part of cut/fill operations will be seeded and mulched within one week of final grading completion. Note this is work that is better performed in the fall.
- Weather permitting, all building site areas must be seeded and mulched within one week of final grading completion.

### Excavation Materials and Blasting

If any blasting is to occur, the LRDRB must be notified two weeks in advance and appropriate approvals must be obtained from city/county and the LRDRB. Blasting may only be done by licensed demolition personnel, with all requisite insurance coverage's as mandated by county and state statutes, specific to their blasting activity at Laughlin Ranch. Laughlin Ranch must be named as an additional insured. The Laughlin Ranch Design Review Board shall have the authority to require in writing documentation of anticipated seismic effects, with confirmation such effects will not be injurious to other persons or properties, public or private, and that all appropriate protection measures have been utilized. The LRDRB may require additional insurance to cover potential damages from blasting to subdivision improvements and common areas.

All excess material resulting from blasting, as well as all other excess excavation materials, must be promptly removed from Laughlin Ranch.

### Dust and Noise Control

The contractor shall be responsible for controlling dust and noise from the construction site, including the removal of dirt and mud from public or private roads that is the result of construction activity on the site.

The sounds of radios or any other audio equipment used by construction personnel must not be audible beyond the property perimeter of any project site ; repeated violations of this provision will precipitate a total prohibition of any on-site use of radios or audio equipment during construction.

### Firearms

The possession or discharge of any type of firearm by construction personnel on any construction site, homesite, common area parcel or right-of-way at Laughlin Ranch is prohibited. Anyone in possession of a firearm will be permanently restricted from Laughlin Ranch and fined.

### Alcohol and Controlled Substances

The consumption of alcohol or use of any controlled substance by construction personnel on any construction site, homesite, common area parcel or right-of-way at Laughlin Ranch is prohibited and subject to a fine.

### Fires and Flammable Materials

Careless disposition of cigarettes and other flammable materials, as well as the build-up of potentially flammable materials constituting a fire hazard, are prohibited. At least two 20-pound ABC-Rated Dry Chemical Fire Extinguishers shall be present and available in a conspicuous place on the construction site at all times.

No on-site fires are allowed, except for small, confined, attended fires for the purposes of heating masonry water.

### Pets

No pets, particularly dogs, may be brought into Laughlin Ranch by a member of any construction crew.

### Preservation of Property

The use of or transit over any other site, common area or amenity, including the golf course, is prohibited. Similarly, the use of or transit over the natural area or setbacks outside the project site is prohibited. Construction personnel shall refrain from parking, eating, depositing of rubbish or scrap materials (including concrete washout) on any neighboring property, common area, parcel, or right-of-way.

### Protection of Subdivision Improvements and Restoration of Property

Each Owner shall be responsible for the protection of all subdivision improvements, roadways, common areas, golf

improvements, or improvements of any other property which may be damaged by the activities of such Owner's contractor, subcontractor, agents, or employees.

Upon completion of construction, each Owner and builder shall clean his construction site and repair all property which has been damaged, including but not limited to, restoring grades, planting shrubs and trees as approved or required by the LRDRB, and repair of streets, driveways, pathways, drains, culverts, ditches, signs, lighting and fencing.

In addition, the Owner and general contractor shall be held financially responsible for site restoration/ revegetation and refuse removal necessitated on any and all adjacent properties as a result of trespass or negligence by their employees on sub-contracted agents.

### Construction and Real Estate Signage

Temporary construction signs shall be limited to one standardized sign per site. A copy of the standardized sign requirements will be given out during the pre-construction conference, along with a list of sign companies permitted to make the sign. This sign is intended for job site identification only. The construction sign may not be erected on a site earlier than two weeks prior to the onset of continuing construction activity and must be removed within two weeks of the issuance of a certificate of occupancy by the County, or immediately upon the passage of 30 calendar days without significant construction activity.

Individual signs, or construction sign attachments, identifying individual sub-contractors, tradesmen, or suppliers are prohibited; identification of licensed tradesmen, when required by state or county statutes, shall be confined to the posting location of the building permit.

Attachment of signs or similar material to trees is strictly prohibited.

### Daily Operation

Daily working hours for each construction site shall be from 30 minutes before sunrise to 30 minutes after sunset. Construction activity which generates noise audible from the boundaries of any homesite, such as hammering, sawing, excavation work, concrete delivery, etc., must be confined to the hours of 7:00 a.m. to 7:00 p.m., Monday through Friday, and 8:00 a.m. to 7:00 p.m. on Saturday. Noisy activity is prohibited on Sunday of each week, particularly during the summer period of high Owner/visitor occupancy.

### Site Visitations

Due to the inherent danger associated with an active construction site, visitors to any site should be limited to those persons with official business relating to the construction activity, such as construction workers and tradesmen, building officials, security staff, LRDRB observers, sales personnel, and the Owner. Construction personnel should not invite or bring family members or friends, especially children, to the job site.

Section Fifteen:  
*Submittal Requirements*

The Design Review process begins with an informal design/informational meeting with Members of the LRDRB and concludes with the completion of Construction. All stages of review will include submittal of improvement plans that will be carefully reviewed by the LRDRB to ensure compatibility with the Vision, Guidelines, and Design Intent of this development and is applicable for:

- Construction of all new buildings;
- Renovation or expansion of existing buildings;
- Major site and/or landscape improvements including walls/fences.
- Temporary installations (such as banners) for special events.

The LRDRB will evaluate all submittals on the basis of these Guidelines. Various parts are written as broad standards and certain decisions affecting the outcome will be left up to the discretion of the LRDRB. Other Guidelines are absolute requirements such as Building Heights, Setbacks and others which may parallel Governing Regulatory Agencies or Building Code requirements and are therefore not subject to interpretation.

The Master Developer will retain competent assistance from at least one Architect, Landscape Architect, and Management Consultant. The makeup of the panel will be rotated on an as need basis.

The LRDRB and Architectural Committee will meet at regular intervals, or on an as need basis due to schedules or submittal overload.

The total fee charged to the project for all reviews shall be \$2500.00 for the first acre or partial acre plus \$1000.00 for each additional acre or partial acre. plus a preliminary design review fee of \$150.00 per acre for landscape design payable at the Pre-Design Meeting.

Any construction after initial construction, i.e. patio, wall, etc shall have additional plan review fees of \$150.00 and Compliance/clean up deposit of \$1000.00 per acre or partial acre. Major changes to building after initial plan review will be subject to total fee as stated herein.

The LRDRB will make every effort to comply with the suggested time frames for review. However, they can not be liable for delays caused by circumstances beyond their control. The review schedule is as follows:

- **Pre-Design Conference** – 14 days from the receipt of the request form.
- **Preliminary Design Review** – application documents to be submitted 14 working days prior to next scheduled meeting of the LRDRB. If a meeting has not previously been scheduled, then the LRDRB will schedule a meeting after document submittal. Written comments will be provided within 7 working days from the date of the meeting. A second review may be necessary and will require a submittal 5 working days prior to the next scheduled meeting. An additional fee may apply.
- **Final Design Review** - application documents to be submitted 14 working days prior to next scheduled meeting of the LRDRB. If a meeting has not previously been scheduled, then the LRDRB will schedule a meeting after document submittal. Written comments will be provided within 7 working days from the date of the meeting. A second review may be necessary and will require a submittal 5 working days prior to the next scheduled meeting. An additional fee equal to 50% of total fee will apply. If subsequent submittals occur, a fee equal to 125% of the total fee will apply.

- **Building Permits** - the Owner applies to the City/County Building Department for all applicable Building and Use Permits after securing the Final Design Approval. Any City/County required adjustment affecting the approved design plans will have to be resubmitted for review by the panel prior to the start of construction. An additional fee may apply.
- **Construction Observation** – Periodic checks during construction will be made for compliance with approved documents. Notice to Comply will be issued within 3 days of observation of elements are found to change or alter the intent of approved design. Failure to observe non-complying installations does not relieve the Property Owner from complying or corrective measures.
- Upon completion of exterior construction, required landscaping, sidewalk, driveway, walls and on-site cleanup, a written request must be made for final LRDRB inspection and approval. Following inspection, the LRDRB will determine compliance or issue a Notice of Non-compliance. Upon determination of compliance, the compliance/clean-up deposit will be refunded. If a Notice of Non-compliance is issued, 10 days will be given to correct the problems or satisfactorily cleaned up, the LRDRB will take action on non-compliance or arrange for the clean-up and the deposit will be forfeited. If clean-up costs are more than the deposit, the Owner or Owner's agent will be billed for the additional costs. If a request is not made for final LRDRB inspection and approval within 13 months from the start of construction, the deposit will be forfeited.

An application and information package is available from the association management agent for each submission. Each submittal must be accompanied by required information, as specified in the application package instructions and these Guidelines. The property Owner/Representative must be present at scheduled meetings to respond to questions or explain a submission.

Requested changes must be submitted in writing for review and approval prior to implementation.

The LRDRB recognizes that each Parcel has its own unique characteristics and each Owner their own needs and desires. For this reason, the LRDRB has the authority to approve variances based on what they would determine meritorious. The LRDRB at its own discretion has the right to waive any requirement not governed by applicable City & County regulations that the Owner has demonstrated that there is good cause and it affects are minimal on surrounding property Owner's, the Natural Environment, or the Design Intent of the Guidelines and the Development as a whole.

The Owner will notify the LRDRB of Notice of Completion at the appropriate time. The LRDRB will make a final on site inspection and review checklist for compliance within 14 working days of notification. Upon this completion of this observation, the LRDRB, within 7 working days, will issue a Notice of Completion or a Notice of Non-compliance with items that may not be in correct accordance with approved documents.

Prior to the submittal of any prepared materials/plans, the Owner is required to request a Pre-Design Conference and obtain a current copy of the Design Guidelines. The purpose of this conference is for the representative of the LRDRB to review on site any questions or get guidance regarding the following:

- Particular characteristics or restrictions on this particular site or the development at large.
- Optimal Orientation of the building and outdoor spaces.
- Survey/Civil information.
- Clarifications of Guidelines or Directives.
- Review of Submittal Requirements
- Fees and Schedules.
- Informal review of proposed Design Concepts showing the overall Design Intent and understanding the contents of the Guidelines and utilization of the site and exterior Architectural Character. After the Pre-Design Conference, the applicant shall submit a written application and appropriate fee for the Preliminary Design Review. Within this step, the Applicant shall submit a complete package adequately conveying existing site conditions, constraints, building orientation and design, vehicular access, parking, building heights, preliminary finished floor elevations, architectural character studies, colors and materials, and preliminary landscape/hardscape plans. All architectural plans are to be prepared by an LRDRB approved licensed Architect or designer and all Landscape Plans are to be prepared by an approved Landscape Architect or designer.

The package shall include two full-size sets and two sets of 11' x 17" reductions of the following drawings and/or materials:

- Preliminary Design Review Application Form and Fee. (8 1/2" x 11")
- Location Map - Illustration of Parcel within the development.
- Design Approach - Written description of the overall design approach and how it meets the intent of the Guidelines.
- Parcel Survey – Provided at minimum 1"=20', illustrating property boundaries site area, all easements of record, 100-year flood plain/404 limits one-foot contours, building envelope and any significant natural features to be accommodated.
- Site Plan - minimum 1" = 20' showing existing topography, proposed grading/drainage concepts, preliminary floor elevations, building footprint/roof plan, driveway locations, parking, walls/fences, patios, decks, pools, and any other site amenities.
- Schematic Floor Plans – minimum 1/8", including all proposed uses, area calculations (air conditioned and exterior covered areas) walls, doors, windows and mechanical and electrical service and refuse collection locations.
- Schematic Elevations – minimum 1/8", including building massing and heights, existing and finished grades, exterior colors and materials. Two sets of elevations, one to be in color.
- Schematic Roof Plans – minimum 1/8", including building heights, existing and finished grades, color, materials
- Conceptual Landscape Plans – See Landscape Submittal requirements page 45.
- Conceptual site lighting plan, including fixture type, light source, locations and other pertinent information relevant to establishing design.

After the Preliminary Design Review submittal, the applicant shall submit a final design document conforming to the approved preliminary plans and comments. All architectural plans are to be prepared by an approved licensed Architect or approved building designer. All landscape plans are to be prepared by a licensed Landscape Architect or approved landscape designer.. The package shall include two full-size sets and two sets of 11' x 17" reductions of the following drawings and/or materials:

- Final Design Review Application Form
- Site Plan - minimum 1' = 20' showing existing topography, final grading/drainage concepts, final floor elevations, building footprint, driveway locations, parking, walls/fences, patios, decks, pools, area calculations and any other site amenities.
- Civil Plans – minimum 1' =20', showing existing topography, finished grades, drainage elements and erosion control.
- Floor Plans – minimum 1/8", including all proposed uses, area calculations (air conditioned and exterior covered areas) walls, doors, windows and mechanical and electrical service and refuse collection locations. Final exterior light fixtures are to be provided at this time.
- Elevations – minimum 1/8", all building sides including building massing and heights, existing and finished grades, exterior colors and materials. Two sets of elevations, one to be in color.
- Landscape Plans – See Landscape Submittal requirements page 45.

- Lighting plan including fixture types/specifications, light source type/voltage and locations.

An 11x17 Sample board shall be submitted with the following:

- Roof material and color
- Exterior materials and color
- Exterior trim and color
- Window material and frame color
- Exterior door material and color
- Stone/Rock Material, color and texture/pattern
- Fence/Wall material color
- Exterior Railings
- Hardscape/Driveway material and colors
- Mortar Color
- Shutters, Awnings, etc.

The LRDRB will review and comment on submitted materials, with Final Approval contingent upon field mock-ups to be reviewed in the field at the appropriate time in the construction process. The LRDRB reserves the right to require changes if in the opinion of the LRDRB, the objectives of the Design Guidelines are not met, or in-place construction does not match quality or color of the approved mock-ups and submittals.

The LRDRB may, upon written application, upon showing of good cause, hardship, or the need to modify, amend or supplement the matters under the control of the LRDRB, in manner consistent with the purpose and intent of these Architectural Guidelines and to further enhance the aesthetic values to be preserved hereby, may grant a variance from these requirements. Such variance shall be to the applicant and lot involved and not provide any precedent as to similar treatment to be accorded to any other applicant, Owner or Property. The LRDRB shall make written findings of any variance, and specifically limit the variance to the particular lot involved. No future applicant for a variance may utilize or rely upon any previously granted variance. Granting of a variance for any particular lot shall not obligate the LRDRB or the Association to grant a similar variance for any other property. The grant of such variance is at the sole and singular discretion of the LRDRB and no owner has any right, entitlement, or other claim to such variance.

## Design Review Board

### *Address*

The address of the Laughlin Ranch Design Review Board shall be the address established for giving notice to the Association, unless otherwise specified by the Board. Such address shall be the place for the submittal of plans and specifications, and the place where the current Design Guidelines shall be kept.

The present address for the Design Review Board:

Laughlin Ranch Design Review Board  
c/o D & E Management  
3900 Frontage Road  
Suite 1  
Bullhead City, Arizona 86442

### *Resignation of Members*

Any member of the Laughlin Ranch Design Review Board may, at any time, resign from the Design Review Board upon written notice delivered the Declarant.

### *Duties*

It shall be the duty of the Design Review Board to consider and act upon such proposals or plans related to the development of Laughlin Ranch that are submitted pursuant to this Design Guidelines to enforce the Design Guidelines, and to amend this Design Guidelines when, and in a manner deemed appropriate by, the Laughlin Ranch Design Review Board.

### *Meetings*

The Laughlin Ranch Design Review Board shall keep on file all submittals and copies of all written responses to Owners to serve as record of all actions taken.

### *Compensation*

Unless authorized by the Association, the members of the Laughlin Ranch Design Review Board shall not receive any compensation for services rendered. The Design Review Board does not have the authority to spend association funds. Therefore, Professional consultants and

representatives of the Design Review Board retained for assistance in the review process shall be paid such compensation as the the Declarant or Board of Directors determines.

### *Amendment of Design Guidelines*

The Laughlin Ranch Design Review Board may, from time to time and at its sole discretion, amend or revise any portion of the Design Guidelines upon approval of the Declarant. All such amendments or revisions shall be appended to and made a part of the Design Guidelines. Administrative changes may be made in like manner by the Design Review Board; the Design Review Board for consideration by the Board of Directors of the Owner's Association may recommend changes of a substantial nature and upon approval of the Declarant.

### *Non-Liability*

Neither the Design Review Board, any member thereof, nor the developer, shall be liable to the Association or to any Owner or other person for any loss or damage claimed on account of any of the following:

- The approval or disapproval of any plans, drawing and specifications, whether or not defective.

- The construction or performance of any work, whether or not pursuant to approved plans, drawings, and specifications regardless of any inspections by the Design Review Board during the course of construction.

- The development, or manner of development of any property within Laughlin Ranch.

Every Owner or other person, by submission of plans and specifications to the Laughlin Ranch Design Review Board for approval, agrees that he will not bring any action or suit against the Design Review Board management agent, any of its members, nor the developer, regarding any action taken by the Design Review Board.

Approval by the Design Review Board of any improvement at Laughlin Ranch only refers to the Laughlin Ranch Design Guidelines and in no way implies conformance with local government regulations. It shall be the sole responsibility of the Owner to comply with all applicable

government ordinances or regulations, including but not limited to zoning ordinances and local building codes.

### *Enforcement*

The Laughlin Ranch Design Review Board may, at any time, inspect a project site or improvement and, upon discovering a non-compliance of this Design Guidelines, provide a written notice of non-compliance to the Owner, including a reasonable time limit within which to correct the non-compliance. The Design Review Board may also record a notice of non-compliance after the expirations of the time limit. If an Owner fails to comply within this time period, the Design Review Board or its authorized agents may enter the project site and correct the non-compliance at the expense of the Owner of such project site; said expense to be secured by a lien upon such project site for the amount claimed enforceable in accordance with the Declaration.

In the event of any non-compliance of this Design Guidelines, the Laughlin Ranch Design Review Board may, at its sole discretion and in addition to restoration expenses, impose without limitation a punitive fine, commensurate with the severity of the violation. In the event the Design Review Board deems it necessary to retain legal counsel in connection with the enforcement of this Design Guidelines, the Owner against whom such enforcement is sought shall be liable for all legal fees and other out-of-pocket expenses incurred by the Design Review Board in enforcing the Design Guidelines.

### *Severability*

If any provision of the Design Guidelines, or any section, clause, sentence, phrase or word, or the application thereof in any circumstance, is held invalid, or unenforceable, the validity of the remainder of this Design Guidelines, and of the application of any such provision, section, sentence, clause, phrase or word in any other circumstances, shall not be affected thereby, and the remainder of the Design Guidelines shall be construed as if such invalid or unenforceable part were never included therein.

*Delegation of Authority*

The Laughlin Ranch Design Review Board may delegate one of its members to inspect the project site for consistency with the submittal.

*Covenants, Conditions, and Restrictions*

These Design Guidelines are promulgated pursuant to the terms and conditions of the Declaration of Covenants, Conditions, and Restrictions for Laughlin Ranch. However, in the event of any inconsistency between the provisions of this Design Guidelines and the provisions of such Declaration, the provisions of the Covenants, Conditions and Restrictions shall apply.

Section Sixteen:  
*Approved Color Palette*

## *Approved Color Palette*

### Commercial

1A- E50	SW7039	(VIRTUAL TAUPE)
2A- E36	SW7025	(BACKDROP)
3A- FN47	SW6046	(SWING BROWN)
4A- FN19	SW6018	(ENIGMA)
5A- FN272	SW6271	(EXPRESSIVE PLUM)
6A- B-G/B/163	SW6536	(SEARCHING BLUE)
7A- FN208	SW6207	(RETREAT)
8A- FN187	SW6186	(DRIED THYME)
9A- FN159	SW6158	(SAWDUST)
1B- FN5	SW6004	(MINK)
2B- E70	SW7059	(UNUSUAL GRAY)
3B- FN257	SW6256	(SERIOUS GRAY)
4B- E63	SW7052	(GRAY AREA)
5B- FN179	SW6178	(CLARY SAGE)
6B- EPP/37	SW2845	(BUNGLEHOUSE GRAY)

*\* All colors are coded to the Sherwin-Williams  
Paint Color Palette.*



*Approved Color Palette*  
*PCP*



**DEEP ACCENTS**

**BODY COLORS**

NOTE: Drawn from site and setting, preliminary color samples may vary by printer. Actual color palette will be expanded, calibrated to manufactured paints, and further coordinated into color scheme combinations.

5/06/04